

Design Essentials





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Our vision

The vision for Stockland Sienna Wood

Rich in natural amenity and modern convenience, with established and future transport, schools and essential retail close by, Sienna Wood offers you a well-connected lifestyle where you can learn, grow and enjoy life.

Combining the best of the Darling Ranges and connectivity to Perth CBD, just 34km away, Sienna Wood features a rich mix of housing types, lifestyles and backgrounds. Beautiful open space, destination playgrounds and dedicated walking trails ensures that home doesn't just stop at the front door.

The Design Essentials outlined in this document allow the implementation of key design principles to deliver a strong sense of place and community.



Design Essentials explained

The Design Essentials form part of your Contract of Sale and should be referred to when designing your new home. They are intended to create an attractive streetscape that results in a cohesive, quality urban form, while not precluding individual design solutions.

Stockland encourages a variety of architectural styles and materials in the design of your home. Stockland reserves the right to vary the requirements of the Design Essentials at its discretion and approve works which do not comply with the Design Essentials where considered to be of merit.

The Design Essentials apply in addition to, and not in lieu of other statutory requirements. Approval from your Local Government Authority will still be required in addition to any approval issued by Stockland. Any Detailed Area Plans take precedent over these guidelines.

Explanatory notes
are included in the pack
to provide clarification
on elements of the
Design Essentials





Stockland's commitment

Stockland's commitment and objectives

Stockland's commitment to you is to encourage and showcase quality urban design throughout Sienna Wood. Stockland's objective is to create a pleasant living environment that is centred around a strong sense of community and provides a variety of housing solutions to suit a diverse range of lifestyles.

Designing your ideal home is one of the biggest advantages of building new and our Design Essentials are put together with you in mind and to assist you in getting the most out of your investment and lifestyle.

It is important that the design of your home is in keeping with the Design Essentials outlined in this document. They have been created to:

- Encourage visually appealing and cohesive streetscapes that protect your investment
- Promote environmentally responsive development
- Help you get the best out of your homesite
- Outline the process to get your home approved
- Assure you that everyone will contribute to achieving a strong neighbourhood character and standard of housing
- Promote a contemporary approach to design that responds to the local climate, and deliver on 'The Community Vision'.



Design approval process

Submission requirements

In order to build, you must apply and have an application package approved by Stockland's Design Services Team. Design Approval by Stockland does not constitute development or building approval or compliance with building regulations. Upon obtaining Design Approval from Stockland, a building approval must be obtained from the local government or a private building certifier before construction can commence.

The process

Stockland's Design Services Team will endeavour to assess proposals in the shortest possible time, generally within 10 business days of receiving all required information for the application. Approved plans are stamped and uploaded to the Stockland Builder Portal. The progress of the home will be monitored by Stockland to ensure that it conforms with the approved design.

If you have any questions regarding the requirements in these guidelines contact Stockland on 13 52 63 or design@stockland.com.au.



1. Review

Review Design Essentials and Contract of Sale.



2. Check

Check for special requirements unique to your community (Stockland will identify these for you).



3. Design application

Submit 'Design Application' to Stockland for endorsement through our Builder Portal at builderportal.stockland.com.au



4. Building application

Submit a building application including Stockland's Design Approval to an accredited building surveyor to obtain a building permit and proceed to construction. Town Planning approval from council may also be required.

Developer's responsibility

Whilst Stockland will endeavour to ensure compliance with these Design Essentials wherever possible, Stockland will not be responsible or liable to any person for any loss, damage or injury arising whether directly or indirectly from any non-compliance with these Design Essentials.





Design Essentials

Applicable to all homes



1. The style of your home

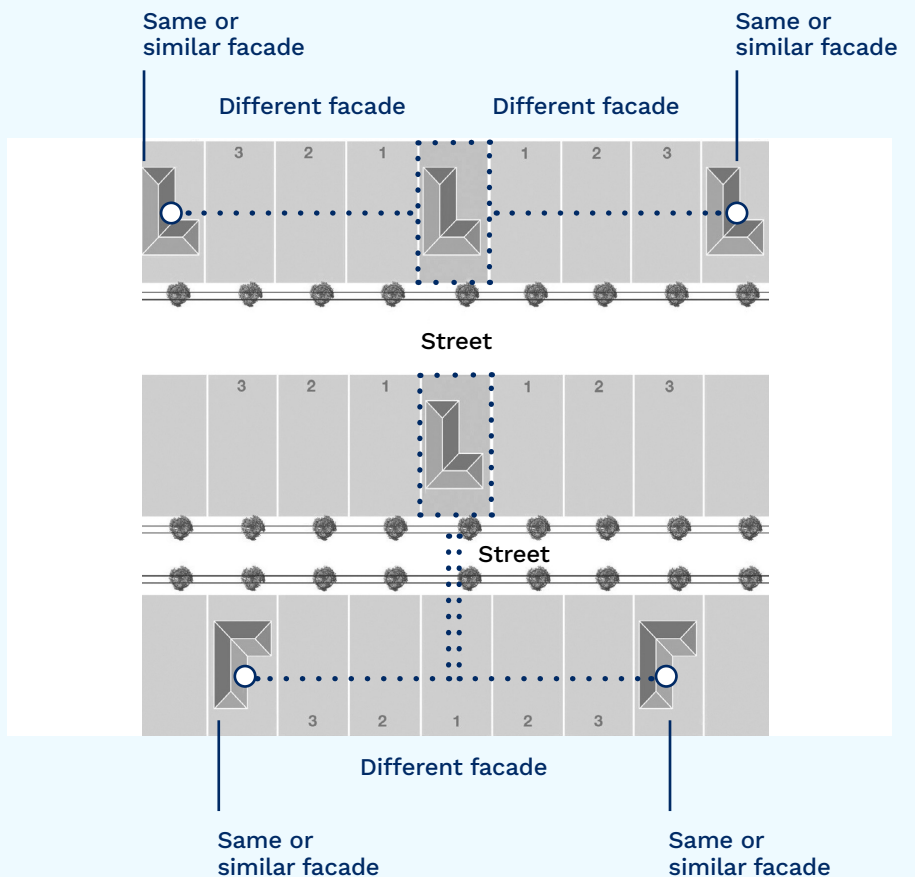
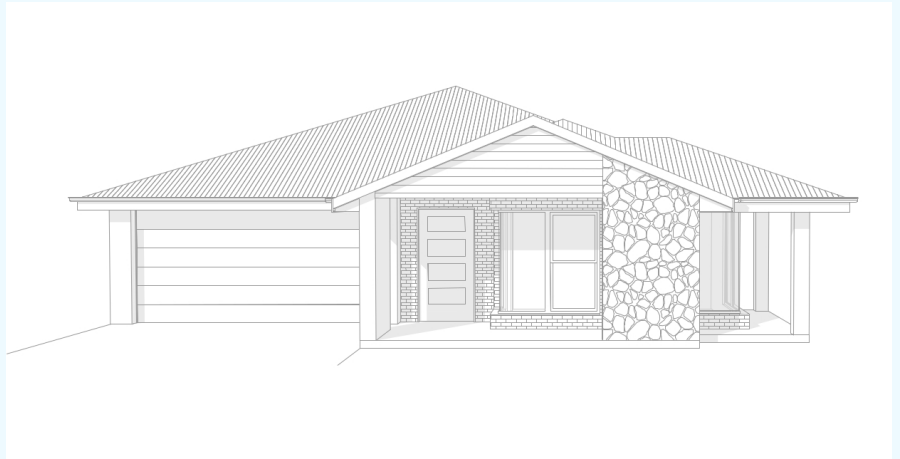
1.1 Home style

Homes are to be constructed to reflect contemporary architecture and have regard to the climatic conditions of the area and the estate's unique location.

1.2 House design separation

The house facade may not be the same as one within three lots either side or across the street, unless:

- Colour and/or material differences are included
- If it is approved in writing by Stockland's design services team and/or
- the house is part of a row of terraced homes or a medium density development.





2. Roof form

2.1 Roof form and pitch

The following standard applies to roofs at Forest Reach:

- hipped roofs must be a minimum of 24 degrees
- skillion roofs must be a minimum of 8 degrees
- flat roofs must be concealed behind a parapet wall.

All other roof types will be assessed on a case-by-case basis by Stockland's Design Services team.

2.2 Eaves

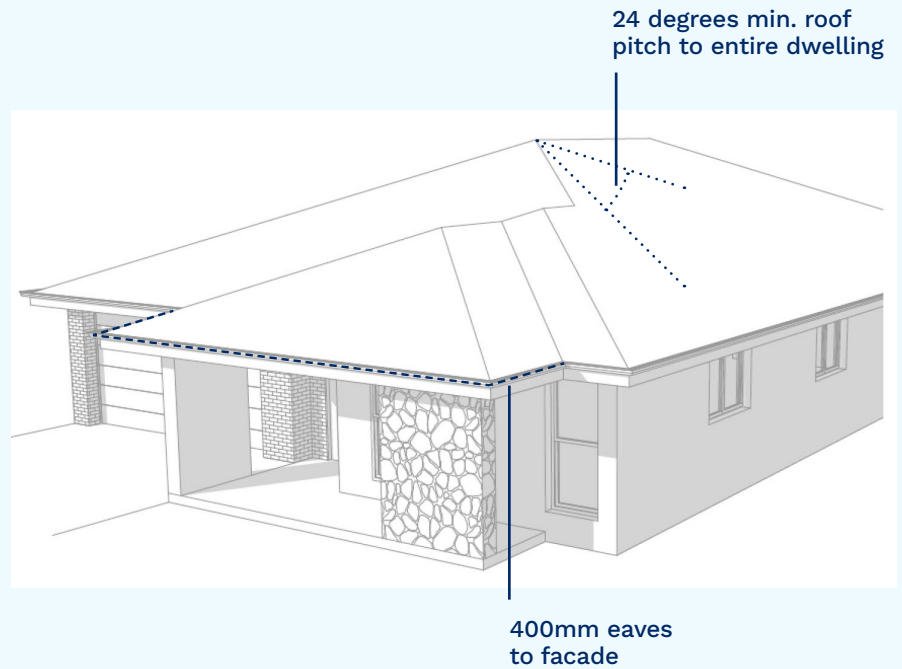
Roofs must have eaves overhanging by a minimum of 400mm (excluding fascia and gutter) to primary and, where applicable, secondary street facades. (Garages and parapet roofs are exempt from this requirement.)

2.3 Roof, materials and colours

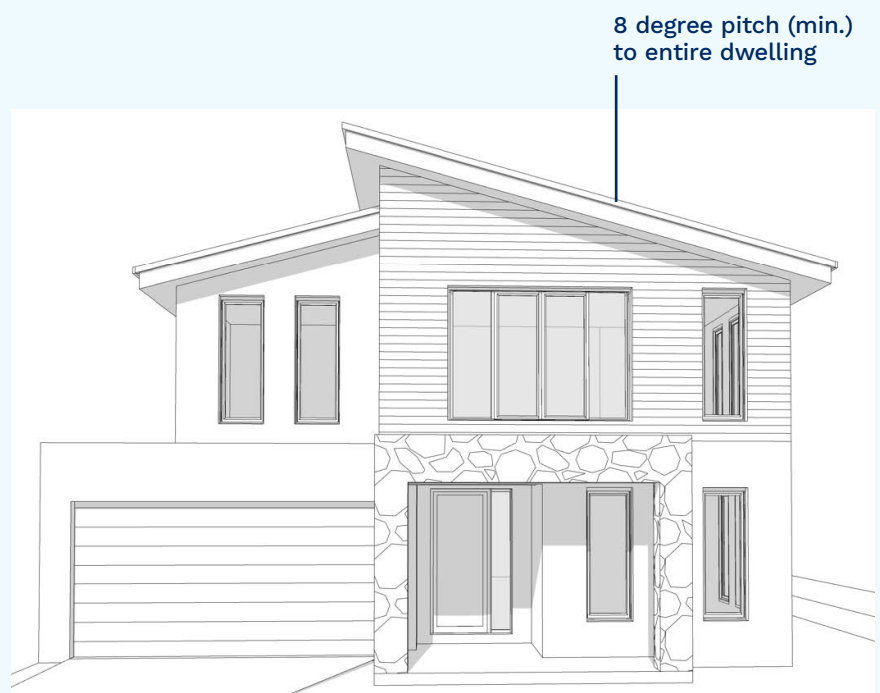
As a positive energy efficiency requirement, a 'cool roof' policy has been implemented at Sienna Wood. This policy requires roof colours to meet the criteria of a solar absorptance rating of less than 0.5.

Sheet metal (e.g. Colorbond) and tile roofs are permitted. Please refer to the Approved Roof Colour Palette on page 19. Cool roofs are mandatory for all stages titled after September 2024.

Hipped roof



Skillion roof





3. How your home addresses the street

3.1 Front door facing the primary street

Your home's front door must face the street.

Please refer to your contract of sale and the LDP to confirm your lot facing direction and mandatory garage locations.

3.2 Porch

Your home must have an undercover porch, addressing the primary street. The minimum recommended floor area is 4m² and minimum recommended depth is 1.5m at some point.

3.3 Windows

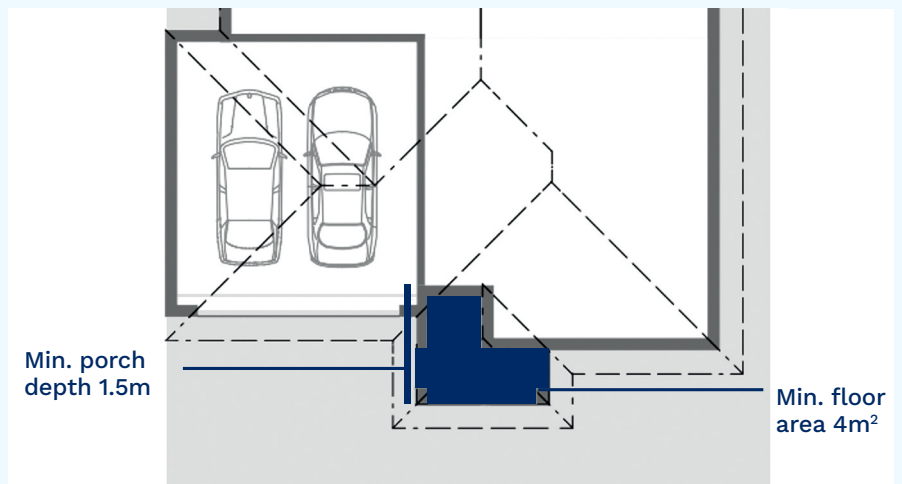
Your home must have habitable room windows on the facade facing the primary and, where applicable, secondary street frontage/s. These windows must be consistent in style.

Blank walls with no windows are not permitted on any facade visible from both primary and secondary street frontages.

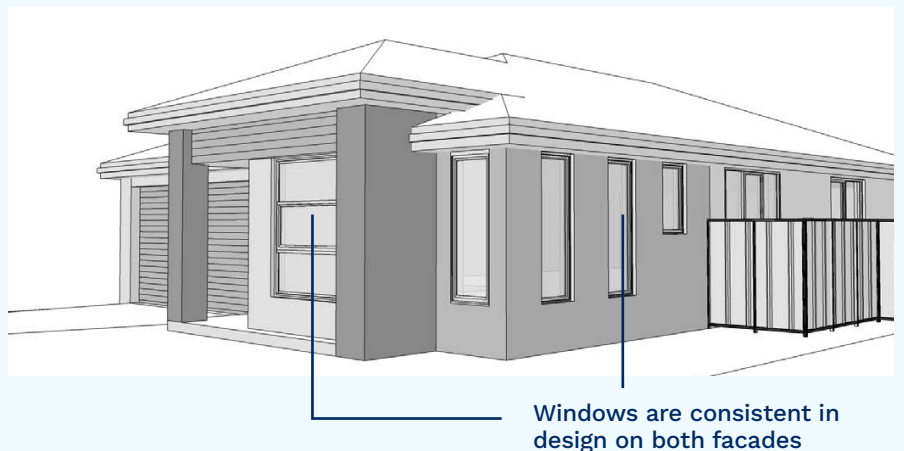
3.4 Facade articulation

Homes shall have articulated facades by including indentations and projections in the floor plan and roof design to create visual interest. At least two steps in the floorplan, mirrored in the roofline are required. (Lots under 10m wide are exempt from this requirement.)

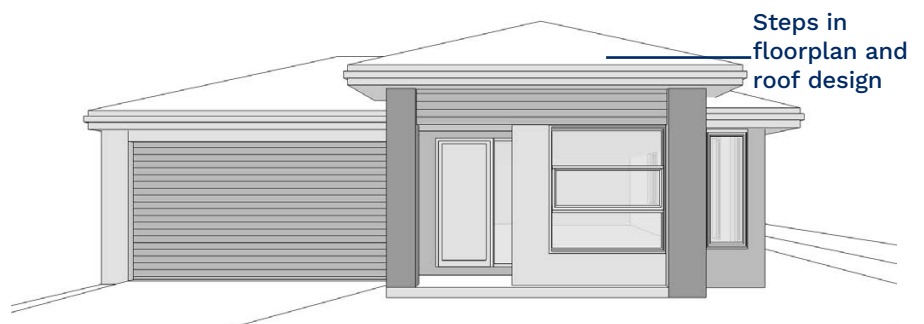
Entry porch minimum size recommendations



Habitable room window facing primary and secondary street frontage



Roofline creates visual interest





3. How your home addresses the street – continued

3.5 External materials and colours

All external materials and colours must reflect contemporary architecture.

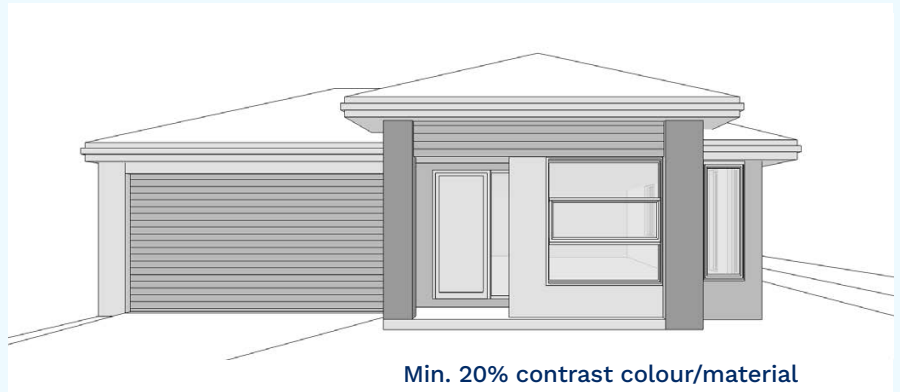
- Two (2) contrasting materials or colours must be applied to the front and secondary street facade of the house.
- No one material or colour can be more than 80% of the facade area (excluding windows, doors, roof gables and infills).
- Bright or primary colours are not permitted unless they are used as a minor (max 20%) feature element on the facade area.
- Homes located on corners shall address both streets through their design by extending the primary elevation features (colours/materials and architectural features) onto the secondary street elevation where forward of a return fence.

3.6 Architectural features (Riverbend homes)

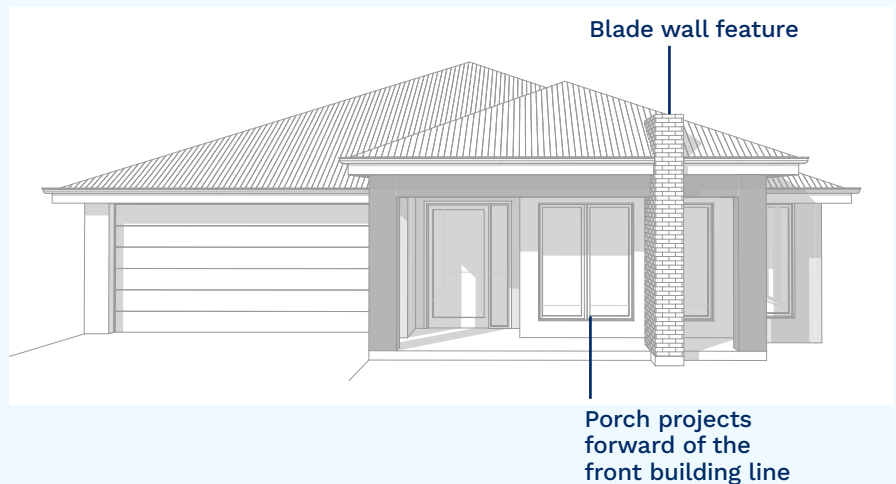
A minimum of one additional architectural feature must be used on the primary facade. This may include:

- Veranda with a separate roof and supporting posts, pillars or piers (minimum of 30% of the front elevation excluding garage/ carport, at least 1.5m in depth).
- Projecting blade wall in a feature colour/material (minimum 500mm in width projecting at least 300mm above the eaves).
- Built-in planter box (at least 1m in length).
- Roof feature such as a dutch gable or end gable.
- Elevated eaves with a feature recess or similar detail to the forward/ projected part of the roof.
- Other features creating visual interest may also be accepted.

Facade colours and materials



Min. 1 additional architectural feature is required for Riverbend homes





3. How your home addresses the street – continued

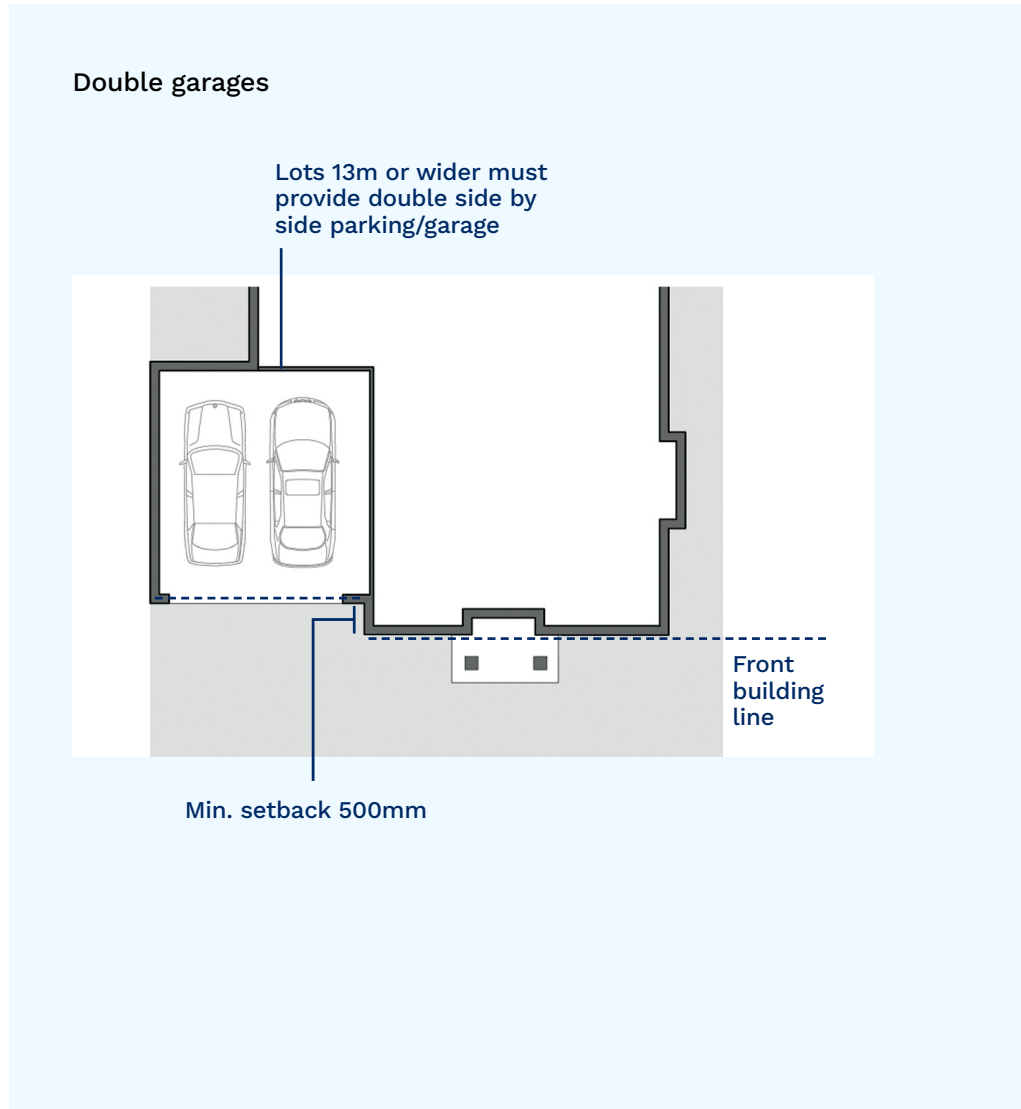
3.7 Garages

Freestanding or attached carports and garages must include a roof design and design features which are consistent with the form and materials of the home and must include sectional door.

All garages are required to be recessed a minimum of 500mm behind the front building line of the home.

Where a triple garage is to be constructed, the third garage must be set back a minimum of 500mm from the other garage doors. Lots 13m or wider must contain a double garage/carport sufficient for at least two motor vehicles side-by-side.

It is recommended that garages provision for a 16A Single Phase GPO centrally located within the garage for potential future electric vehicle charging. Any conduit provided should allow for the upgrade of supply cable to 3 Phase in the future.





4. Front garden and driveways

4.1 Extent of landscaping

Landscaping to be completed as outlined in your contract of sale provided by Stockland.

4.2 Letterboxes

Letterboxes must:

- Be located on the primary street frontage.
- Be incorporated into the front fencing or a standalone structure and constructed of materials that are complementary to the facade and landscaping.

4.3 Driveways

Driveways are to be constructed in accordance with local government requirements and be offset at least 500mm from the nearest side boundary.

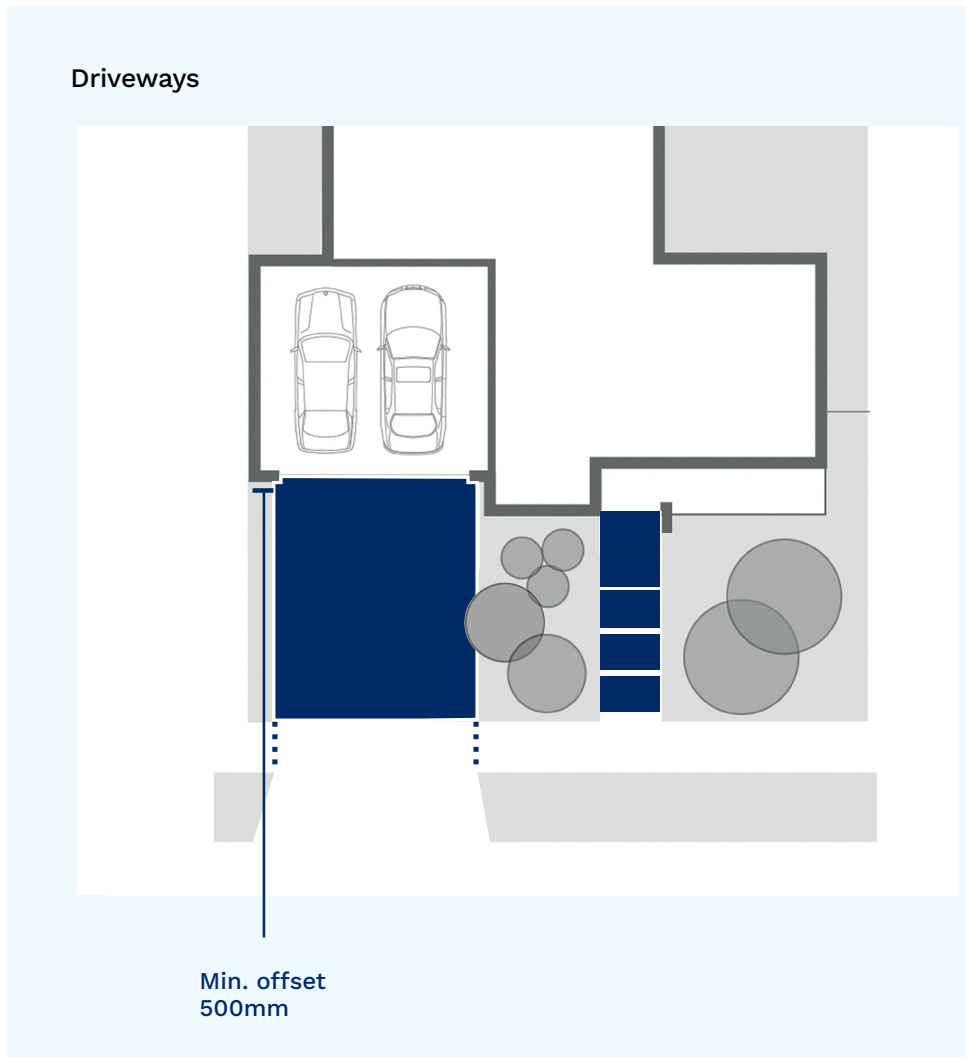
Acceptable driveway materials are:

- Brick pavers
- Exposed Aggregate
- Stamped concrete
- Coloured concrete.

The colour palette of your driveway should reflect light, earthy tones.

Driveway and crossover are to be completed prior to occupation.

Driveways must not cut through a public footpath.



Approved driveway applications



Stamped concrete



Coloured concrete



Brick pavers



Exposed aggregate concrete

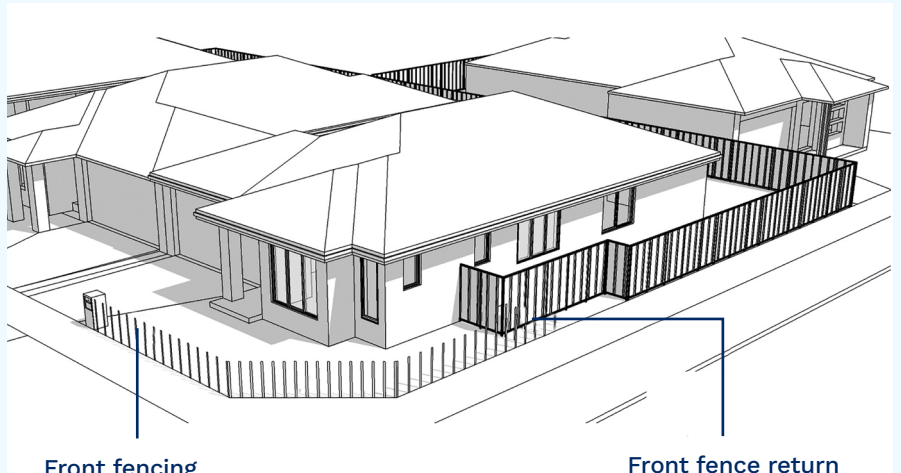


5. Fencing and boundaries

5.1 Optional front fencing

Front fencing as viewed from the street must not exceed 1.8m in height and be at least and must be at least 50% visually permeable above 1.2m high. Materials and colours must be consistent and complementary to the primary street elevation finishes. Fencing designs should be submitted to Stockland's Design Services Team for approval.

Front fencing complements style and colour scheme of home



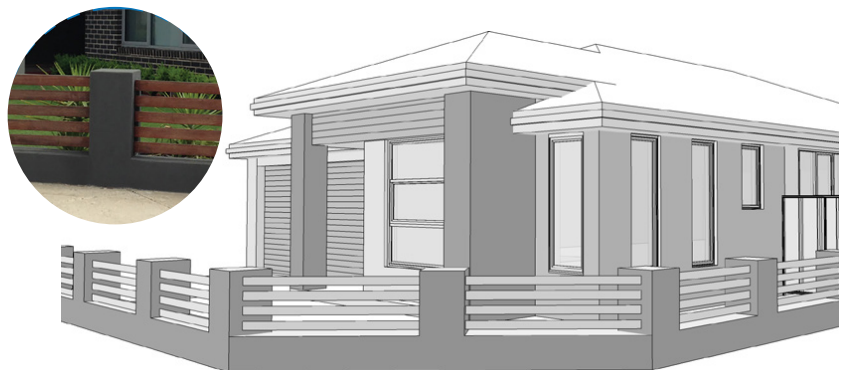
Front fencing max. 1.8m high

Front fence return to connect to side street fence return

Front fencing complements style and colour scheme of home



Front fence 50% transparent





5. Fencing and boundaries – continued (Riverbend)

5.2 Mandatory side and rear fencing (Riverbend)

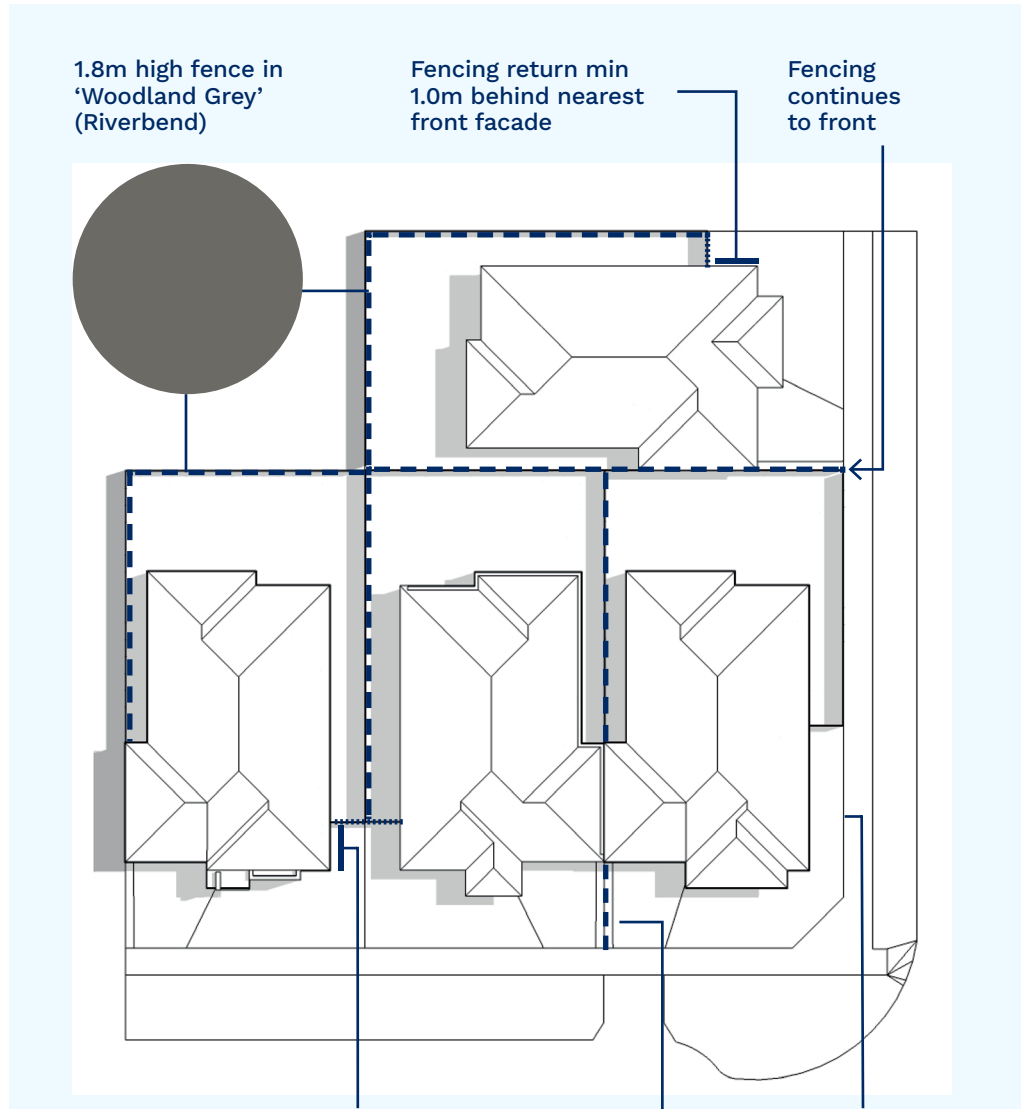
Your contract of sale provided by Stockland will advise eligibility for side and rear fencing package.

- Fencing constructed along the side and/or rear boundaries must be:
- A maximum of 1.8m in height.
- Must be constructed with Colorbond in colour Wallaby
- Side fence must be setback a minimum of 1m behind the front build line.
- Where the side boundary forms the rear boundary of an adjoining lot, the side fence may continue to the front of the lot.

5.3 Mandatory corner lot fencing (Riverbend)

Fencing constructed on an exposed corner lot must be:

- A maximum of 1.8m in height.
- Must be constructed using sheet metal panels (eg, Colorbond) in 'Woodland Grey'
- Returned to the home at least 4m behind the front facade.



✘ Wing span not compliant



5. Fencing and boundaries – continued (Hillside)

5.2 Mandatory side and rear fencing (Hillside)

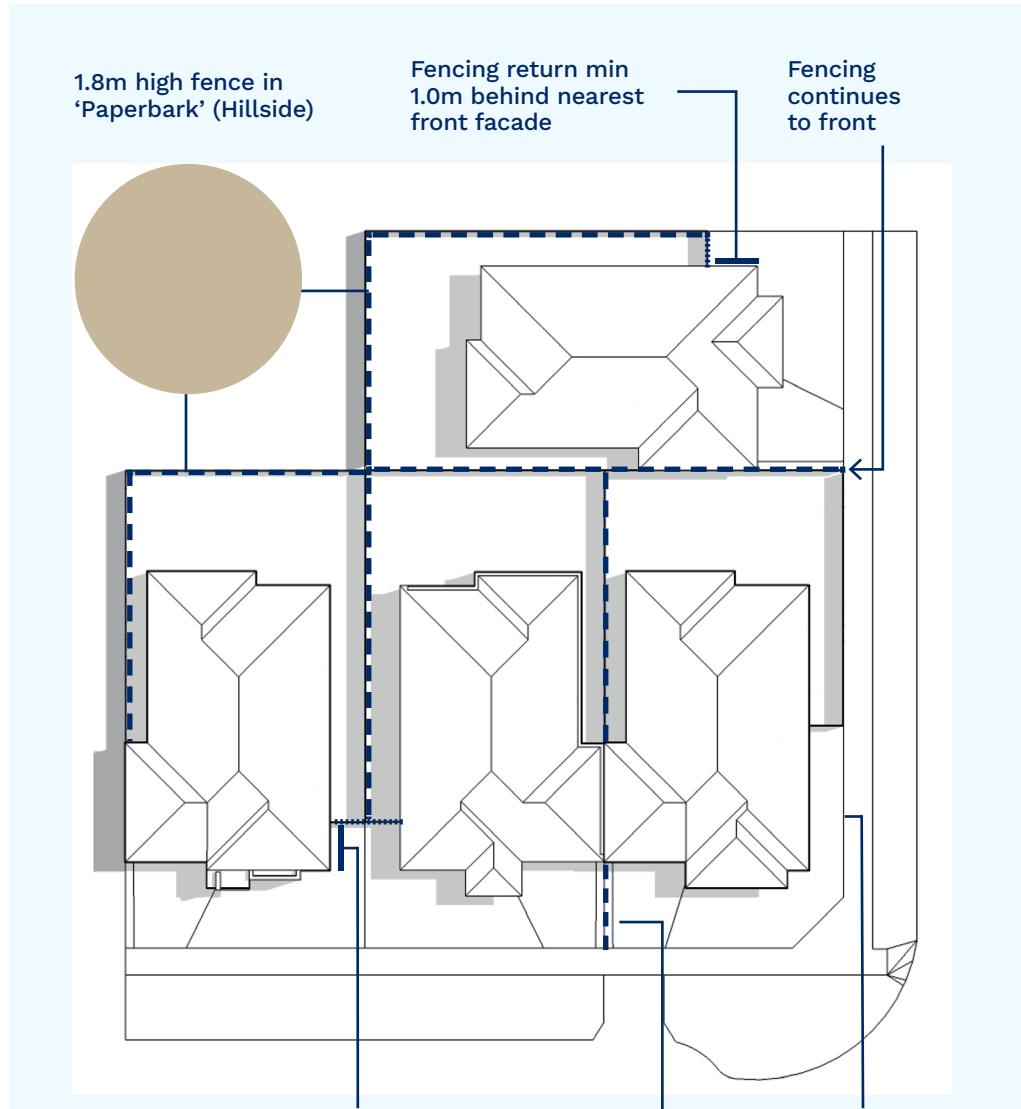
Your contract of sale provided by Stockland will advise eligibility for side and rear fencing package.

- Fencing constructed along the side and/or rear boundaries must be:
- A maximum of 1.8m in height.
- Must be constructed with Colorbond in colour Paperbark.
- Side fence must be setback a minimum of 1m behind the front build line.
- Where the side boundary forms the rear boundary of an adjoining lot, the side fence may continue to the front of the lot.

5.3 Mandatory corner lot fencing (Hillside)

Fencing constructed on an exposed corner lot must be:

- A maximum of 1.8m in height.
- Constructed using sheet metal panels (eg, Colorbond) in 'Paperbark'
- Returned to the home at least 4m behind the front facade.



1.8m high fence in 'Paperbark' (Hillside)

Fencing return min 1.0m behind nearest front facade

Fencing continues to front

Fencing return min 1.0m behind nearest front facade

Fencing return min. 4m behind front facade line



Wing span not compliant



6. Cool roofs for all lots

A roof designed to provide and maintain high solar reflectance

6.1 What is a cool roof?

Cool roofs are designed to reflect more sunlight and absorb less heat than a standard roof. Most buildings can benefit from a cool roof.

When implemented at scale, cool roofs can counter the urban heat island effect, caused by the heat absorbing materials in the built environment.

By reflecting incoming solar radiation, cool roofs can reduce temperatures inside buildings and mitigate cooling demand for an entire city.



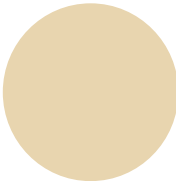




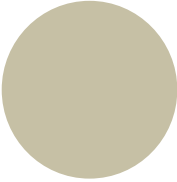

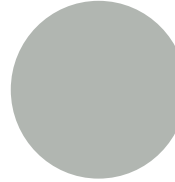
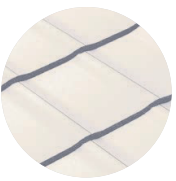


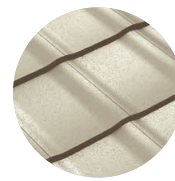
6.2 Benefits of cool roofs

A cool roof can benefit a building and its occupants by:

- Reducing energy bills by decreasing air conditioning.
- Improving indoor comfort for spaces that are not air conditioned, such as garages or covered patios.
- Decreasing roof temperature, extending roof service life.
- Increase ecological sustainability factor, or make your building 'greener'.
- Mitigating your community's urban heat island effect.

6.3 Types of cool roofs

Stockland suggests the use of roofing with a solar absorptance rating of less than 0.45 to gain natural cooling benefits.

			
Classic Cream™ SA = 0.33 SRI = 81	Surfmist® Matt SA = 0.35 SRI = 78	Dover White™ SA = 0.28 SRI = 88	Surfmist® SA = 0.33 SRI = 81
			
Southerly® SA = 0.40 SRI = 71	Evening Haze® SA = 0.43 SRI = 67	Paperbark® SA = 0.43 SRI = 67	Shale Grey™ SA = 0.44 SRI = 66
			
Alabaster	Vanilla	Aspen	Linen



7. Additions to your home

7.1 External additions

Any additions, fixtures, equipment, sheds, outbuildings or pergolas must be located to the rear of your home, out of sight from your street or any public reserve.

This includes (but is not limited to) satellite dishes, external hot water services, solar hot water systems with roof-mounted tanks, water tanks, spa pumps, heating and cooling units, rubbish disposal containers, rainwater tanks, washing lines and solar pool heating coils.

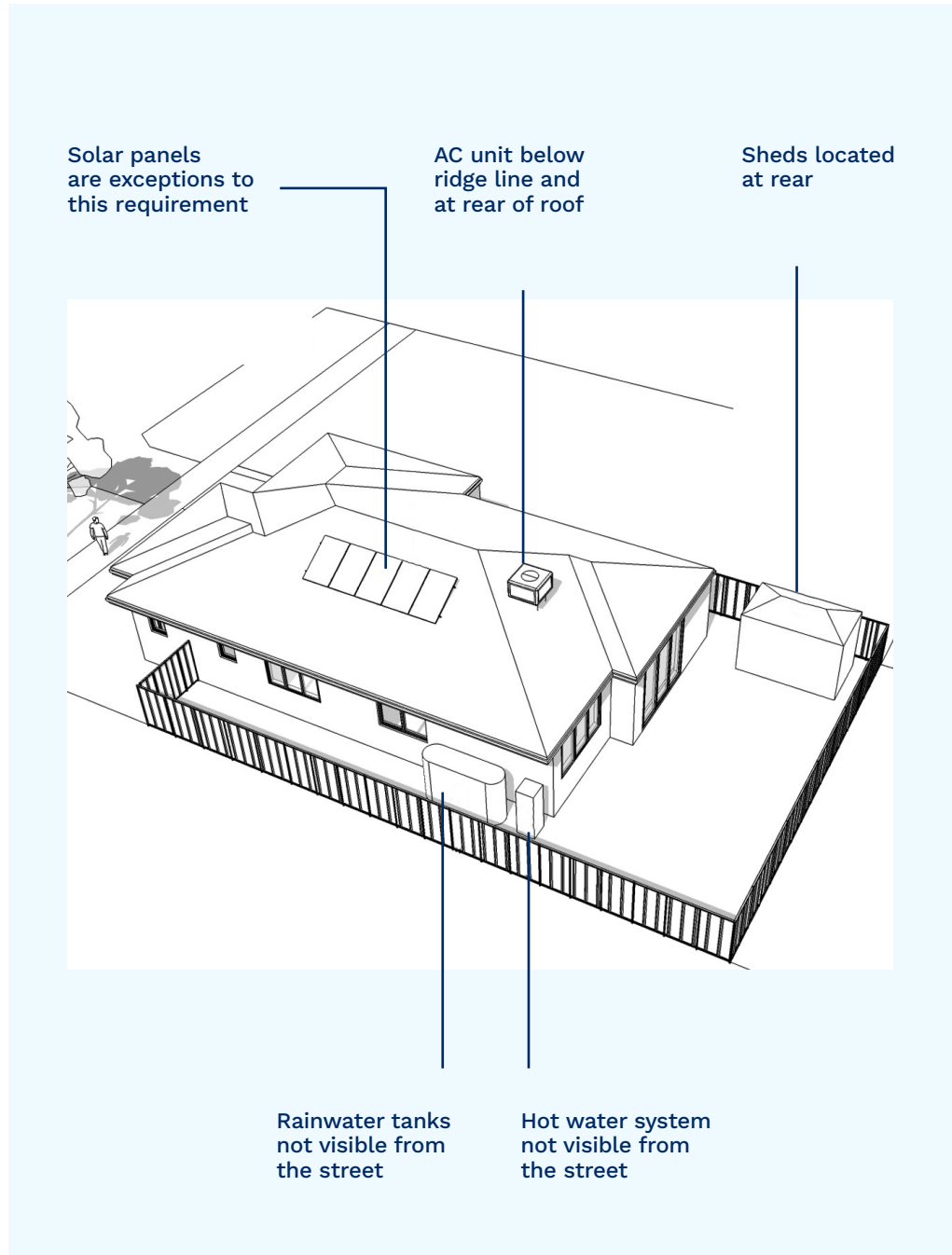
Solar panels for heating water or generating energy are exceptions to this.

7.2 Bin storage

Rubbish bins must be screened and out of public view. Bin location and storage area is to be noted on plans at time of submission. Dedicated bin storage is required behind the front building line of the home behind the side fence return and must be detailed on the plan.

7.3 Outbuildings

All outbuildings and garden sheds must be constructed behind the front and/or secondary street building line unless it can be shown that they are not visible from the adjacent street or public area.





8. Presentation and maintenance of your home

8.1 Obligations during construction

Your property must be kept in a clean, presentable and safe state at all times until construction is completed. This should be done by establishing an industrial waste bin on site as soon as construction commences. This waste bin must be regularly emptied and must be covered when full.

8.2 Ongoing obligations

Where Stockland has constructed a fence or retaining wall, it must be maintained by the owner to the standard to which it was constructed and must not be modified without written consent from Stockland.

The ongoing maintenance of landscaping to the front and rear of each lot (including verges and street trees) is the responsibility of the lot owner. The lot owner is not to permit these areas to become overgrown or to fall into a state of disrepair.





Glossary



Glossary

Architectural feature	Acceptable architectural features to comply with clause 3.6 may include a gambrel, gable-end, blade wall or any other feature visible from the public reserve.
Articulated facade	Variations to the elevation through projections and indentations in the floor plan resulting in the creation of shadows and depth to add visual interest.
Carport	An open, self-supporting structure or a structure under the main roof supported by posts, pillars or piers.
Corner lots	A corner lot is defined as being located at the junction of two streets, street and mews or at the junction of a street and public reserve.
Entry pergola	An entry feature with a separate permeable roof and supported by pillars or piers.
Facade	A facade is the face of a building especially the primary or front elevation showing its most prominent architectural features.
Gable	A triangular top section of a wall on a building with a pitched roof. Gables may be in the same material as the wall or include a secondary material such as timber or weatherboard cladding.
Gambrel	A triangular feature within the roof structure most commonly finished with timber or weatherboard cladding.
Habitable room	Includes all living rooms, kitchens and bedrooms, but not bathrooms, WCs or circulation space.
Laneway	Is a narrow local street type without a verge which is located along the rear and/or side property boundary. Vehicle access to garages should be from the laneway.
Main building line	The main building line is measured from the front most habitable room on the primary street elevation not the projection of a feature.
Masonry gateway wall	A self-supporting structure usually detached to the main dwelling and located in front of the primary entry.
Mews	Is a narrow local street type without a verge which is located along the front of the property boundary.
Moulding and sills	Architectural moulding and sills will be accepted as a secondary colour or material where it is considered of merit to the overall design and character of the home.
Porches	Porches are created through an indentation in the floor plan resulting in an area of overhanging roof, usually where the front door is located. (Porches or indentations in the floor plan covered by the main roof will not be considered an architectural feature.)
Portico	An entry feature with a separate roof and supported by masonry pillars and/or posts.
Primary street	The front elevation of the home will be situated on the primary street which includes the main entry to the dwelling.
Projecting blade wall	A wall which projects forward of adjacent walls, is perpendicular to the facade and usually extends past the gutter line.
Public reserve	A public reserve is any parkland, bushland or wetland designated as public open space within the residential community.
Return fence	A return fence extends from the secondary street fencing to the side of the home.
Secondary street	The secondary street is the road which intersects or adjoins the primary street and does not include the main entry to the dwelling.
Verandah	A shading structure which has its own separate roof and must be supported by posts, pillars or piers.
Window hood	A structure which is attached to the building and designed to provide shading to windows.
Window overhang	A window overhang is a structure built into the home that shades windows as a substitute to eaves.



Design approval checklist

Design approval checklist



The following information and plans need to be submitted with the Design Approval Form. All plans need to be in A3 format as a minimum. These would normally be prepared for you by your builder or architect. You can submit your application through the Builder Portal at builderportal.stockland.com.au

Site plans

1:200 or 1:100 scale

- Existing and proposed contours
- Proposed floor levels
- All setback dimensions to boundaries
- Fencing (including dimensions of fence return setbacks, stepped fencing, side street boundary fencing, etc.)

Floor plan

1:100 scale

- Internal layout
- Dwelling areas
- Dimensions (including setbacks, articulation, porch, etc.)
- Ancillary fixtures and equipment (e.g. rainwater tanks, hot water systems, etc.)
- Sheds, outbuildings, pergolas, etc.

All elevations

1:100 scale

- External materials and colours
- Proposed floor levels and building heights from natural ground level
- Eave dimensions
- Roof pitch
- Sheds, outbuildings, pergolas, etc.

Sections

1:100 or 1:50 scale

- Built form and natural ground level
- Site cut/fill
- Ceiling heights
- Retaining walls

External materials and colours schedule

- Wall cladding material and colour
- Roof material and colour
- Gutters, fascias, downpipes colour
- Window and door frames colour
- Decks, verandahs, etc.
- Fencing material and colour
- Driveway material and colour

Landscape plan

1:100 scale

- Plant list, including species and sizes
- Front fencing details material and colour
- Driveway material and colour
- Paving or hardscape material and colour
- Retaining walls

Contact us

P: 13 52 63

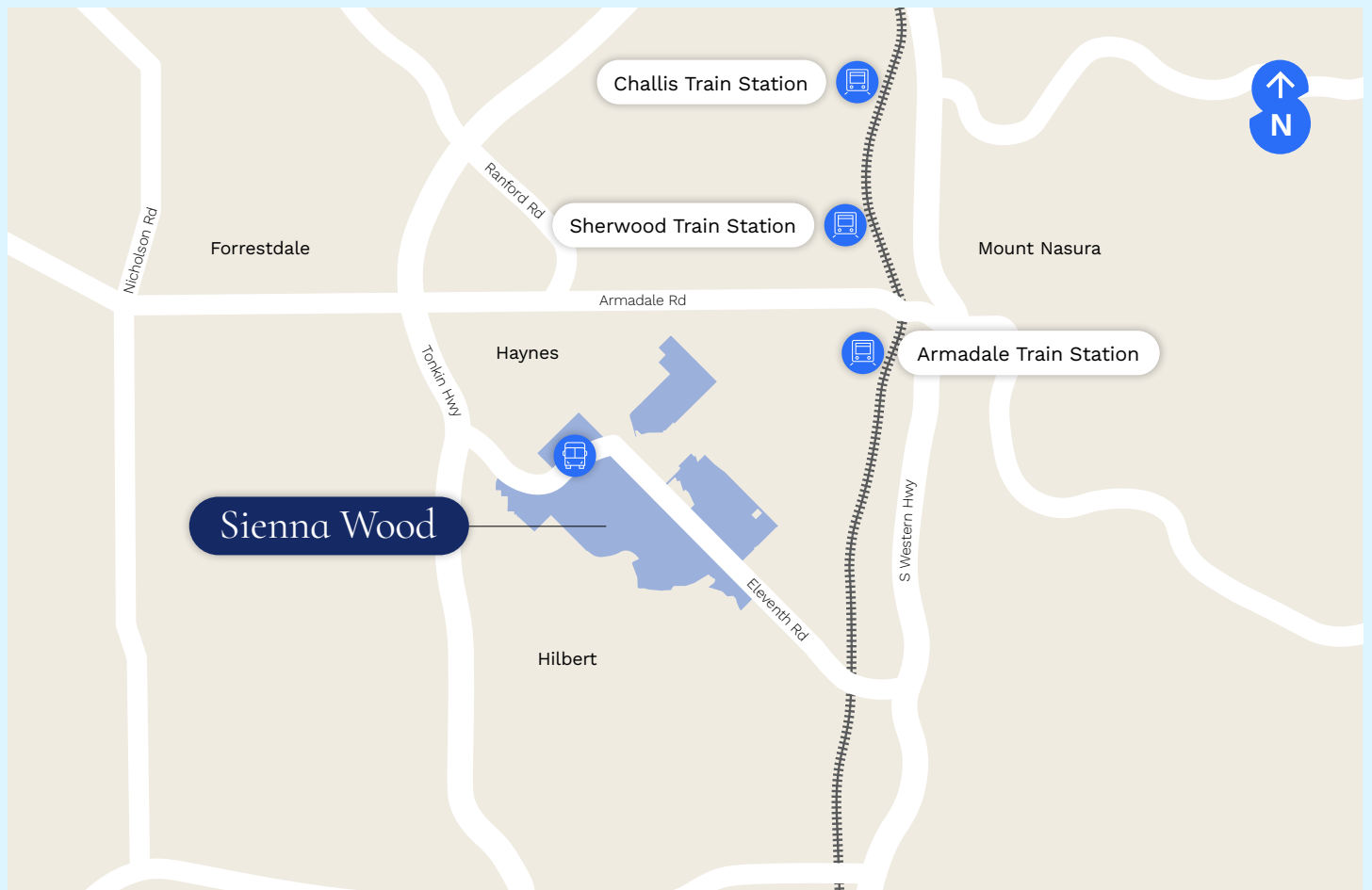
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All details, images, and statements are based on the intention of, and information available to, Stockland as at the date of publication September 2024 and may change due to future circumstances. All images and photographs are conceptual and indicative only. An approval issued by Stockland under these Design Essentials is not an approval or certification from the local council, from an accredited certification authority or under the requirements of any legislation. Any building plans submitted to Stockland are not checked by Stockland for compliance with structural, health or planning requirements, or for the suitability of the building for your intended use. Stockland reserves the right to approve designs and works which do not comply with these Design Essentials where considered to be of merit, and to vary, relax or waive any of the requirements in this document, at its absolute discretion. If Stockland exercises any of these rights, this will not set a precedent or imply that the same or similar approval will be repeated by Stockland in the future.