

Design Essentials





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The Community Vision

The vision for Stockland Illyarrie

Immersed in nature and close to everything, Stockland Illyarrie is our newest residential community in Western Australia. Shaped by a unique, elevated landscape with impressive views over Lake Joondalup, Illyarrie sits 26km north of the CBD. A destination playground, future school, tree-lined streets and dedicated cycle paths ensure residents feel right at home from the day they move in.

Direct access to Wanneroo Town Centre (less than 1km), established schools and major transport hubs embody Stockland's commitment to liveability. Created for today and future-proofed for a changing world, Stockland Illyarrie embodies our 70+ years' experience and sets residents up for unlimited possibility.



Stockland's Commitment

Stockland's commitment and objectives

Stockland's commitment to you is to encourage and showcase quality urban design throughout Illyarrie. Stockland's objective is to create a pleasant living environment that is centred around a strong sense of community and provides a variety of housing solutions to suit a diverse range of lifestyles.

Designing your ideal home is one of the biggest advantages of building new and our Design Essentials are put together with you in mind and to assist you in getting the most out of your investment and lifestyle.

It is important that the design of your home is in keeping with the Design Essentials outlined in this document. They have been created to:

- Encourage visually appealing and cohesive streetscapes that protect your investment.
- Promote environmentally responsive development.
- Help you get the best out of your homesite.
- Outline the process to get your home approved.
- Assure you that everyone will contribute to achieving a strong neighbourhood character and standard of housing.
- Promote a contemporary approach to design that responds to the local climate, and deliver on 'The Community Vision'.



Design Essentials Explained

The Design Essentials form part of your Contract of Sale and should be referred to when designing your new home. They are intended to create an attractive streetscape that results in a cohesive, quality urban form, while not precluding individual design solutions.

Stockland encourages a variety of architectural styles and materials in the design of your home. Stockland reserves the right to vary the requirements of the Design Essentials at its discretion and approve works which do not comply with the Design Essentials where considered to be of merit.

The Design Essentials apply in addition to, and not in lieu of other statutory requirements. Approval from your local government will still be required in addition to any approval issued by Stockland. Any Local Development Plans take precedence over these guidelines.

Explanatory notes are included in the pack to provide clarification on elements of the Design Essentials.





Design Approval Process

Submission requirements

In order to build, you must apply and have an application package approved by Stockland's Covenant Specialist. Design Approval by Stockland does not constitute development or building approval or compliance with building regulations. Upon obtaining Design Approval from Stockland, a building approval must be obtained from the local government or a private building certifier before construction can commence.

The process

Stockland's Covenant Specialist will endeavour to assess proposals in the shortest possible time, generally within 10 business days of receiving all required information for the application. Approved plans will be stamped approved, copied and returned to the applicant or their agent. The progress of the home will be monitored by Stockland to ensure that it conforms with the approved design.

All requests for comment from Stockland's Covenant Specialist, or any other queries, should be directed to the Stockland Covenant Specialist.



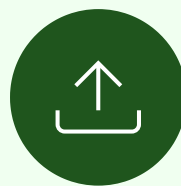
Review

1. Review Design Essentials and Contract of Sale.



Check

Check for Special Requirements unique to your community (Stockland will identify these for you).



Design application

2. Submit 'Design Application' to Stockland for endorsement through our website builderportal.stockland.com.au



Building permit application

3. Submit Building Application including Stockland's Design Approval to an accredited building certifier to obtain a building permit and proceed to construction. Town Planning approval from council may also be required.



The Design Essentials





1. Siting and servicing your home

1.1 General site requirements

Development including minimum setbacks is to be in accordance with the Medium Density Single House Standards, as outlined within Local Planning Policy 4.19 Medium-Density Housing Standards (WAPC Planning Bulletin PB112/2016), except where a Local Development Plan is applicable.

1.2 Surrounding services

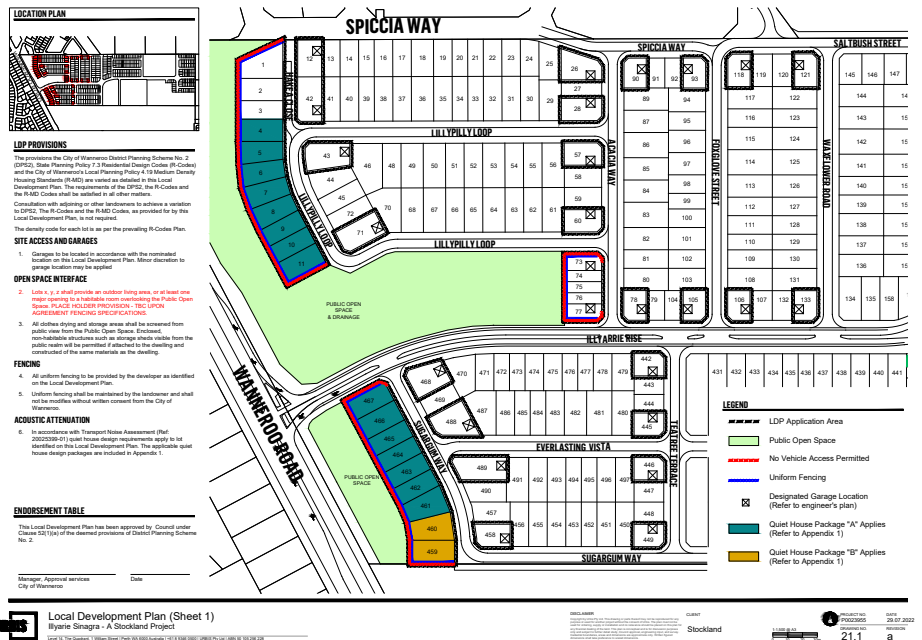
House construction and site works must not impact, damage or alter the surrounding levels of services installed within the council verge. If any works (such as filling or landscaping) result in the need for a service to be rectified by Stockland or utility provider, this rectification cost will be passed on to the property owner.

1.3 Footpaths and street trees

An owner/builder must not permit, cause or authorise any damage to:

- Any adjoining lot; and/or
- Any other part of the Illyarrie community, including but not limited to footpaths, kerb and channel, roadways, landscaping and street trees.

Where such damage occurs and Stockland is required to undertake repairs, the owner/builder of the lot will be responsible to pay the cost of these works.





2. The style of your home

2.1 Home style

Homes are to be constructed to reflect contemporary architecture and have regard to the climatic conditions of the area and the estate's unique location.

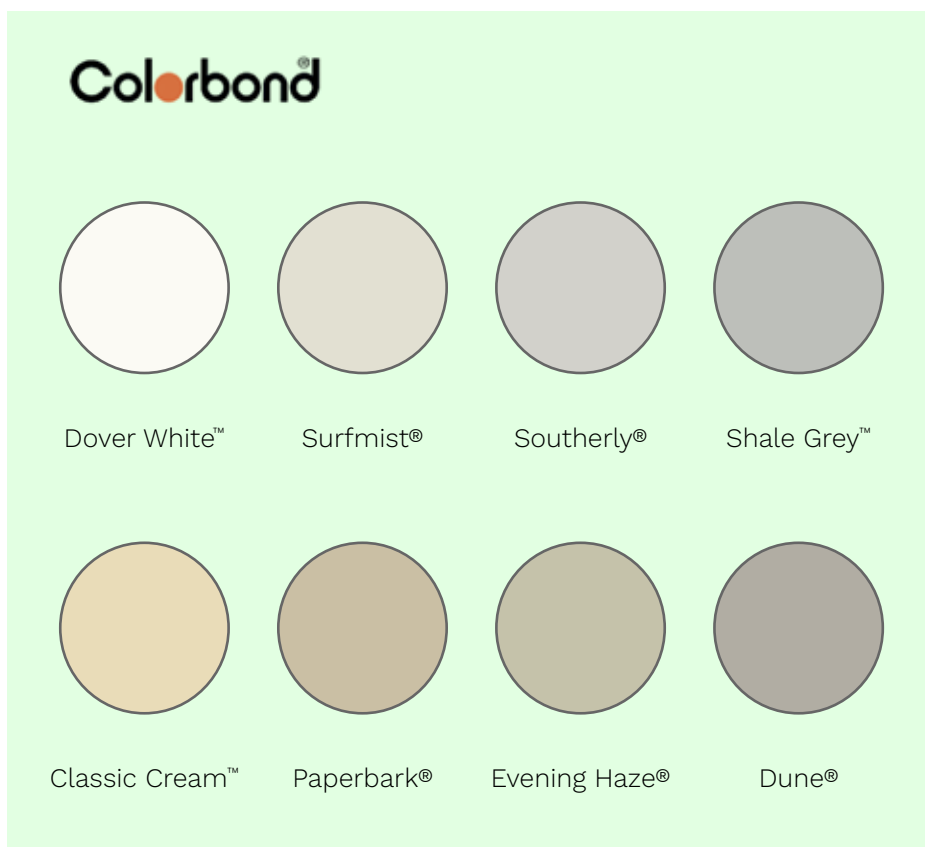
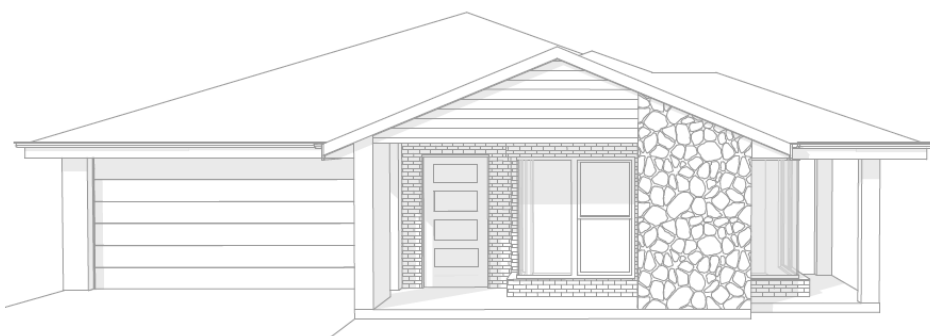
2.2 Roof colour and materials

As a positive energy efficiency requirement, a 'cool roof' policy has been implemented at Illyarrie. This policy requires roof colours to meet the criteria of a solar absorptency rating of less than 0.5.

Colorbond and tile roofs are permitted.

A list of Colorbond options is provided here (or to be colour matched).

Note: Alternative shades that have not been specified on the approved colour palette that meet the solar absorptency rating of less than 0.5 will be assessed on design merit.



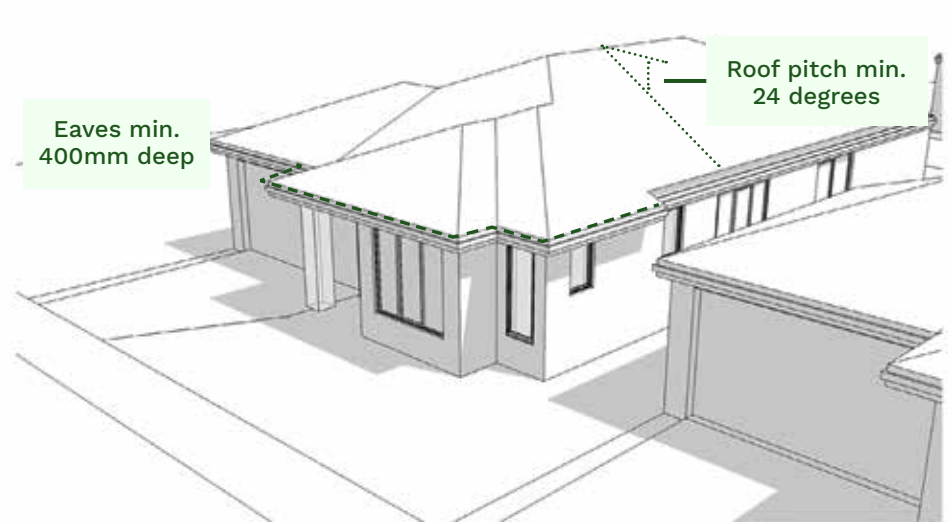
2. The style of your home



2.3 Roof pitch

Roofing must be of a scale and form representative of contemporary architecture.

- Hip and gable roofs must have a minimum pitch of 24 degrees.
- Skillion roof planes should have a minimum of 8 degrees and a maximum pitch of 15 degrees
- Flat roofs are to be concealed from view on the primary/secondary elevation or from any public reserve by a parapet wall.



2.4 Eaves

- All roofs must have eaves overhanging by a minimum of 400mm (excluding fascia and gutter) to primary and secondary street facades.
- Eaves are encouraged to the whole dwelling to assist with shading of windows, minimising heat gain during the day, and helping to moderate the internal temperature of the home.

Eaves are required to primary facade



3. How your home addresses the street

3.1 Front door facing the street

Your home must have a front door facing the primary street.

3.2 Windows

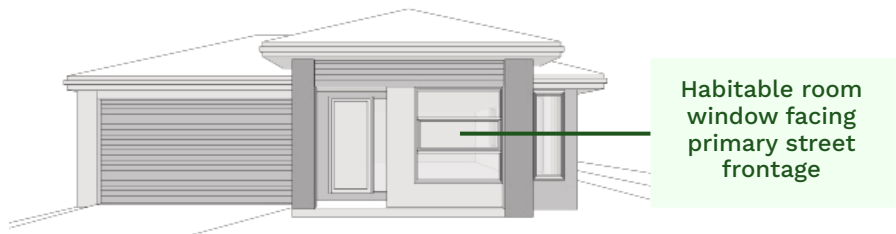
At least one window of a habitable room overlooking the street or public reserve shall be incorporated in the primary facade.

Secondary street facades must incorporate at least one habitable room window with a clear view of the secondary street (excluding highlight windows), located forward of the return fence line, to allow for passive surveillance.

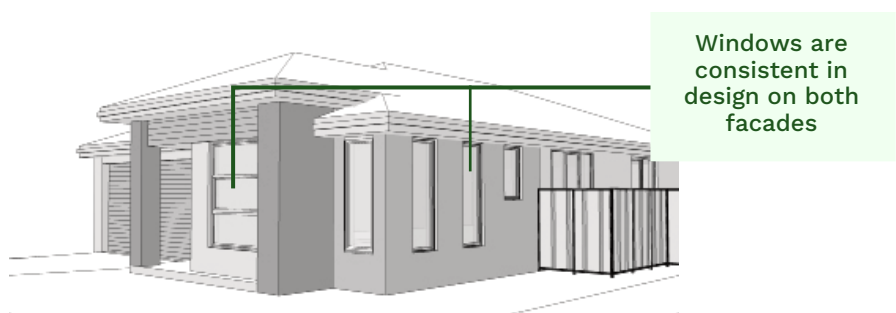
Windows that are readily visible from the street must be consistent in style.



Front door must face primary street



Habitable room windows allow for passive surveillance



Habitable room window facing secondary street frontage

3. How your home addresses the street



3.3 House design separation

Houses may not be the same as one within three lots either side. Unless:

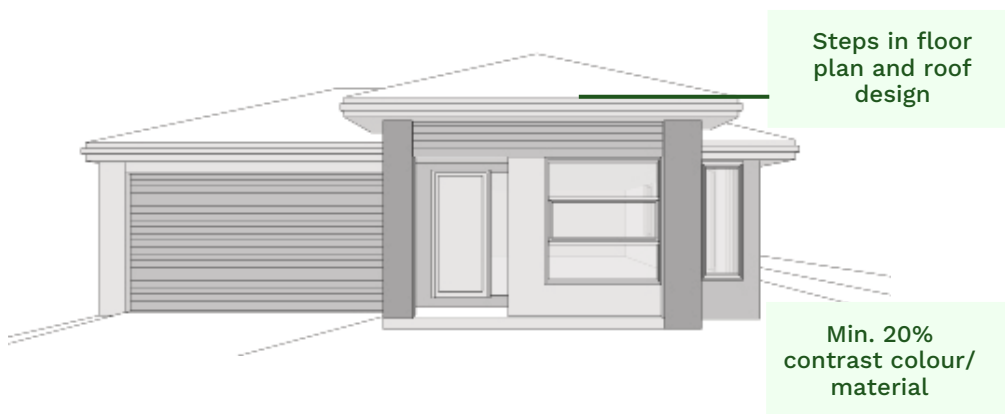
- It is approved in writing by Stockland and/or;
- The house is part of a row of terraced homes or medium density development.



The same facade must not be used within three adjacent lots

3.4 Facade Articulation

Homes shall have articulated facades by including indentations and projections in the floor plan and roof design to create visual interest. At least 1 step in the floor plan is to be mirrored in the roof design (excluding the garage).



Roofline creates visual interest

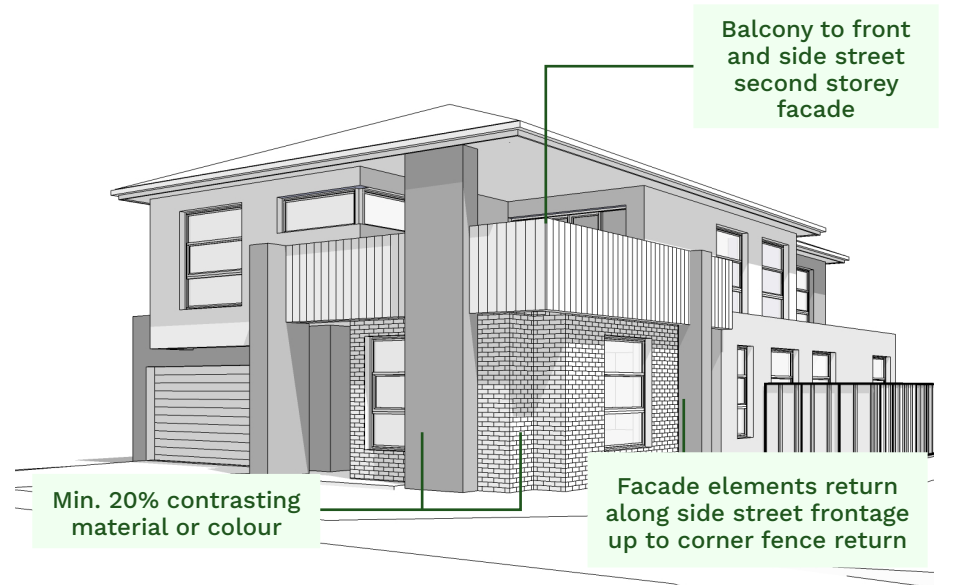
3. How your home addresses the street



3.5 External Materials and colours

All external materials and colours are to be submitted to Stockland for approval, and must reflect contemporary architecture.

- Two (2) contrasting materials or colours must be applied to the front facade of the house.
- No one material or colour can be more than 80% of the facade area (excluding windows, doors, roof gables and infills).
- Bright or primary colours are not permitted, unless they are used as a minor (max 20% feature element on the facade area).
- Homes located on corners shall ensure the facade materials and colours continue along the secondary facade where forward of a return fence.



✓ **Corner Lot Architectural treatment, facade elements, roof articulation, materials and colours continue for all facades visible to the street**



Suitable use of external materials

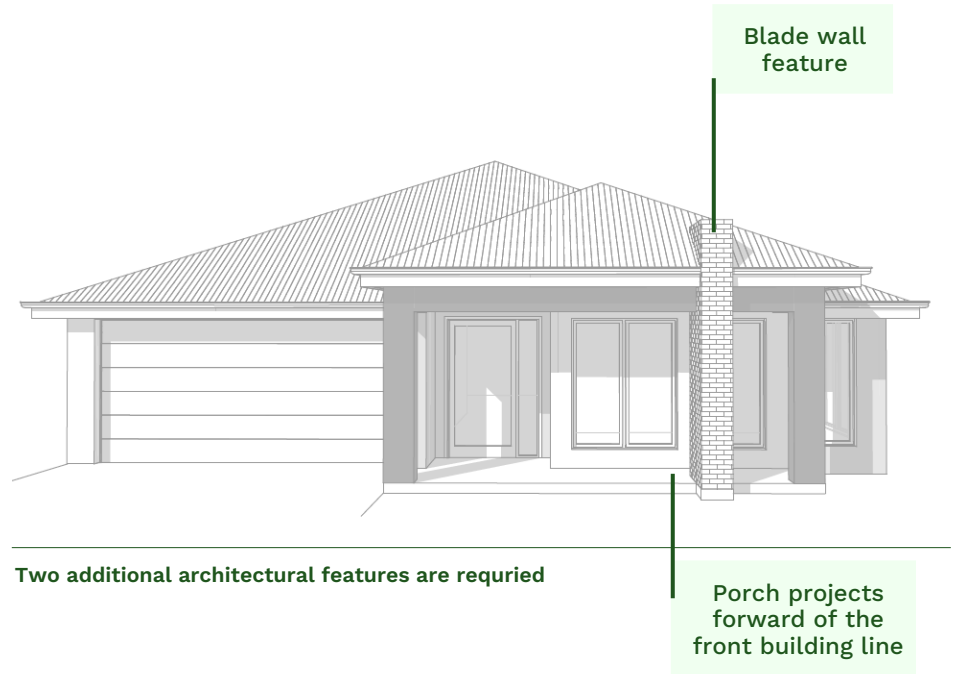
3. How your home addresses the street



3.6 Architectural Features

A minimum of two additional architectural features must be used on the primary facade. These may include:

- Veranda with a separate roof and supporting posts, pillars, piers (minimum of 30% of the front elevation excluding garage/ carport, at least 1.5m in depth); or
- Entry feature such as a porch, portico, masonry gateway wall or entry pergola, portico, masonry gateway wall or entry pergola
- Projecting blade wall in a feature colour/material (minimum 500mm in width projecting at least 300mm above the eaves).
- Balcony which occupies 20% of the front elevation and is 1.5m in depth.
- Built-in planter box (at least 1m in length).
- Roof feature such as a dutch gable or end gable.
- Louvre windows or canopies/ window hood with a horizontal emphasis.
- Elevated eaves with a feature recess or similar detail to the forward/projected part of the roof.
- Other features creating visual interest may also be accepted.



3. How your home addresses the street



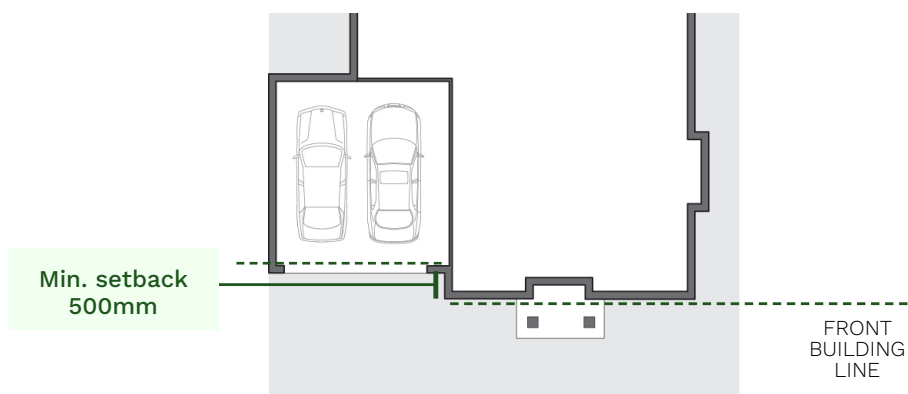
3.7 Garages

Freestanding or attached carports and garages must include a roof design and design features which are consistent with the form and materials of the home and must include sectional door.

All garages are required to be recessed a minimum of 500mm behind the front building line of the home.

Where a triple garage is to be constructed, the third garage must be set back a minimum of 500mm from the other garage doors.

It is recommended that garages provision for a 16A Single Phase GPO centrally located within the garage for potential future electric vehicle charging. Any conduit needs to allow for the upgrade of supply cable to 3 Phase in the future.



Double garages



4. Front garden landscape

4.1 Extent of landscaping

Your contract of sale provided by Stockland will advise eligibility for front landscaping package.

4.2 Driveways

Driveways are to be constructed in accordance with local government requirements and be offset at least 500mm from the nearest side boundary.

Painted or plain concrete driveway finishes are not permitted. All driveways should adopt a light colour palette.

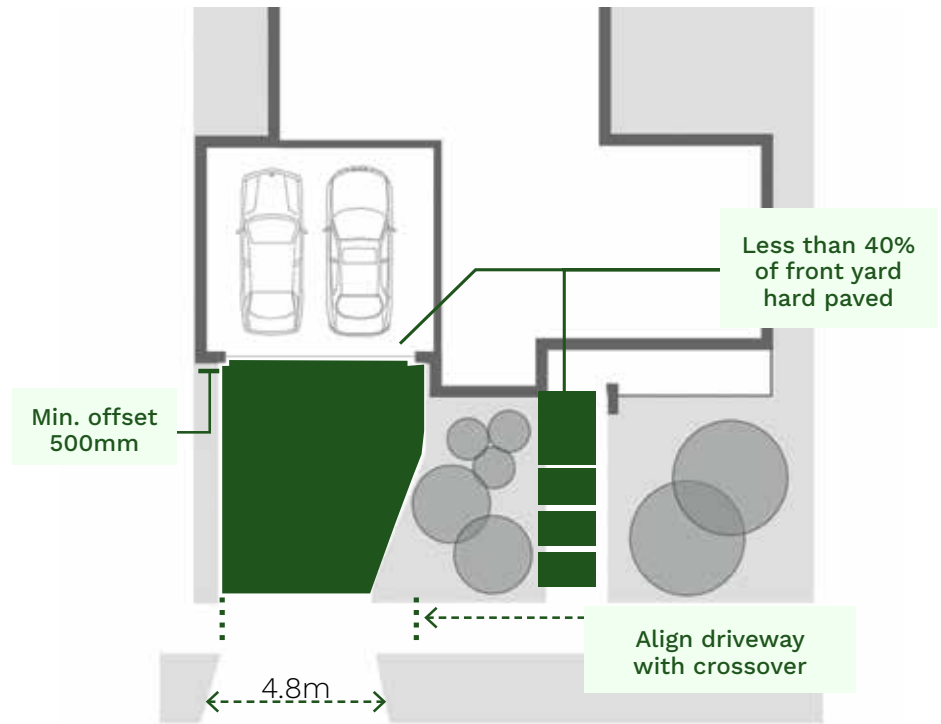
Driveway and crossover are to be completed prior to occupation. Driveways must not cut through a public footpath.

4.3 Letterboxes

Letterboxes must be located on the primary street frontage and be incorporated into the front fencing or a standalone structure. Letterboxes should be constructed of materials that match the feature material of the front facade or the materials used within the landscaping.

4.4 Retaining walls

Retaining walls visible from the street or a public space must be constructed of materials matching those provided by the developer (unless otherwise approved by Stockland). Pre-cast concrete 'panel and post' retaining walls are not permitted.



Driveways



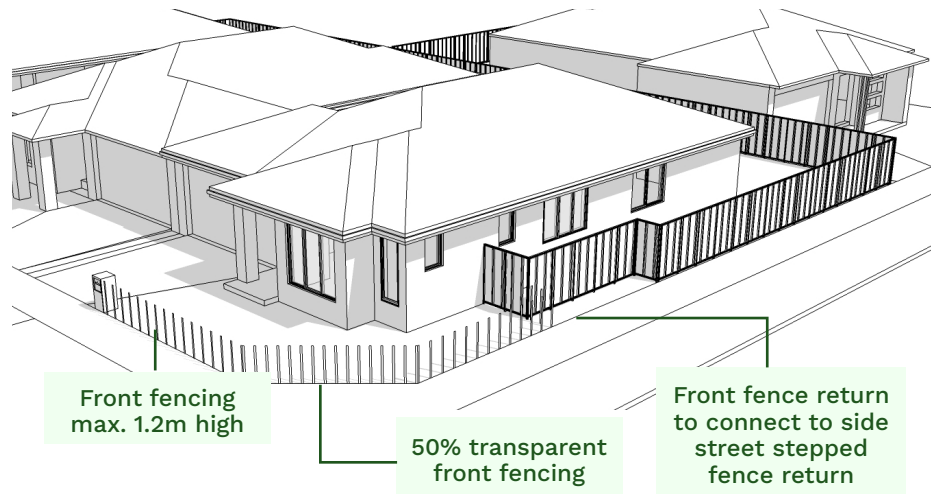


5. Fencing and boundaries

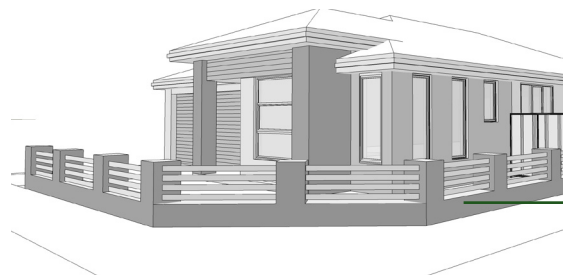
5.1 Front and secondary street fencing

Front fencing as viewed from the street must not exceed 1.2m in height and be at least 50% visually permeable. Materials and colours must be consistent and complementary to the primary street elevation finishes. Fencing designs should be submitted to Stockland Covenant Team for approval.

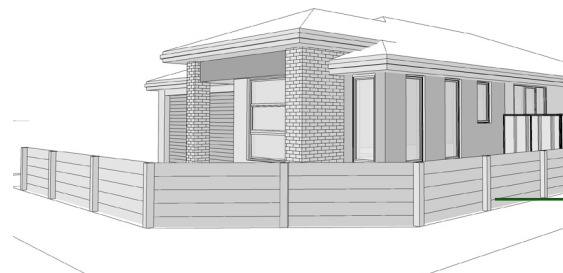
Secondary Street fencing must be setback at least 4m from the corner truncation, constructed of Colorbond colour Woodland Grey and a maximum height of 1.8m.



✔ Front fencing complements style and colour scheme of home



✔ Front fence 50% transparent



✘ Front fence not transparent and does not complement the style and colour scheme of the home

5. Fencing and boundaries

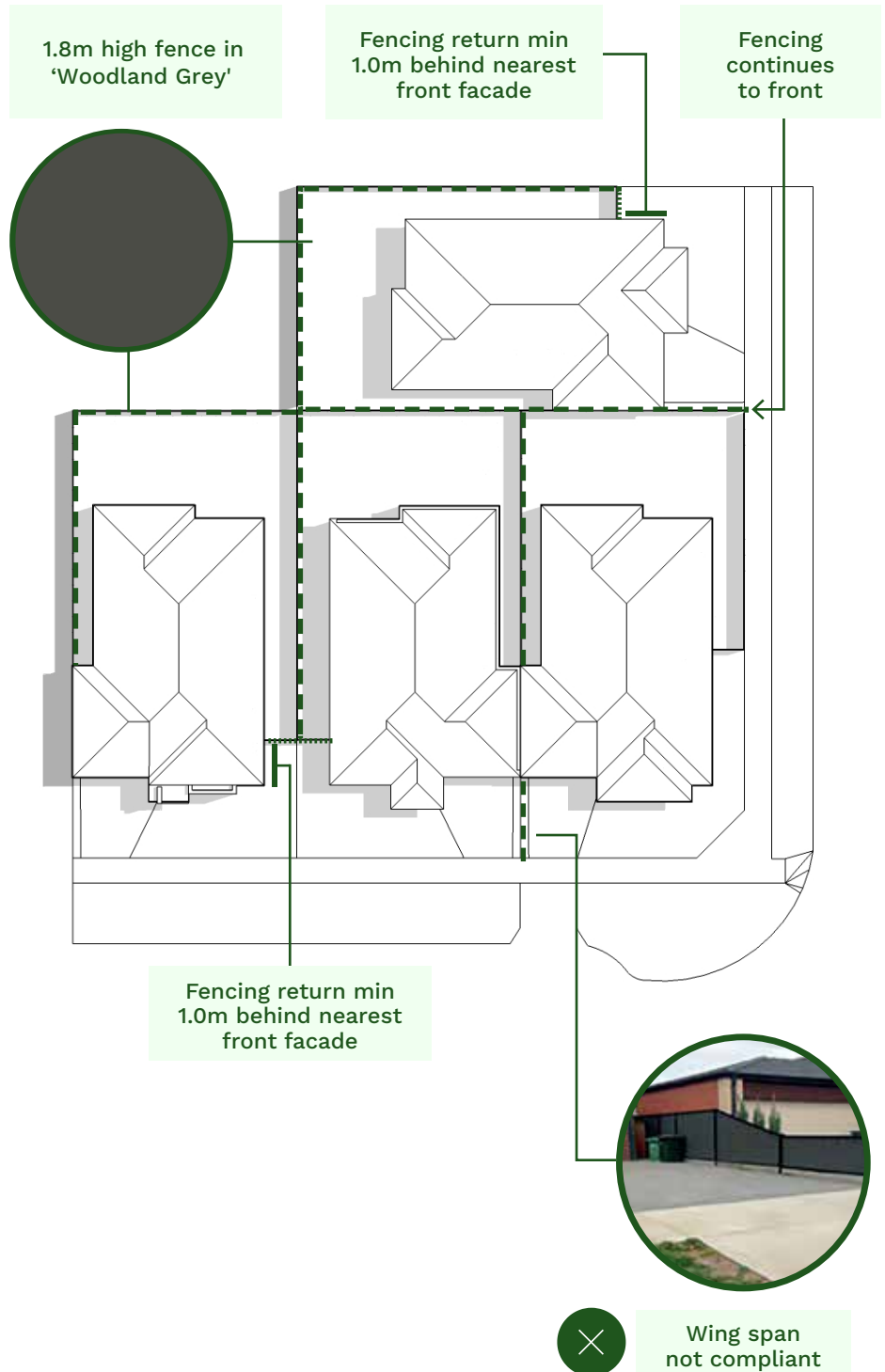


5.2 Mandatory side and rear fencing

Your contract of sale provided by Stockland will advise eligibility for side and rear fencing package.

- Fencing constructed along the side and/or rear boundaries must be:
- A maximum of 1.8m in height.
- Must be constructed with Colorbond in colour Wallaby
- Side fence must be setback a minimum of 1m behind the front build line.
- Where the side boundary forms the rear boundary of an adjoining lot, the side fence may continue to the front of the lot.

Please discuss proposed fencing with your adjoining neighbours prior to construction and refer to the relevant Neighbourhood Disputes (Dividing Fences and Trees) Act 2011 legislation and guidelines in your state and local government area.





6. Additions to your home

6.1 External additions

Any additions, fixtures, equipment, sheds, outbuildings or pergolas must be located to the rear of your home, out of sight from your street or any public reserve.

This includes (but is not limited to) satellite dishes, external hot water services, solar hot water systems with roof-mounted tanks, water tanks, spa pumps, heating and cooling units, rubbish disposal containers, rainwater tanks, washing lines and solar pool heating coils.

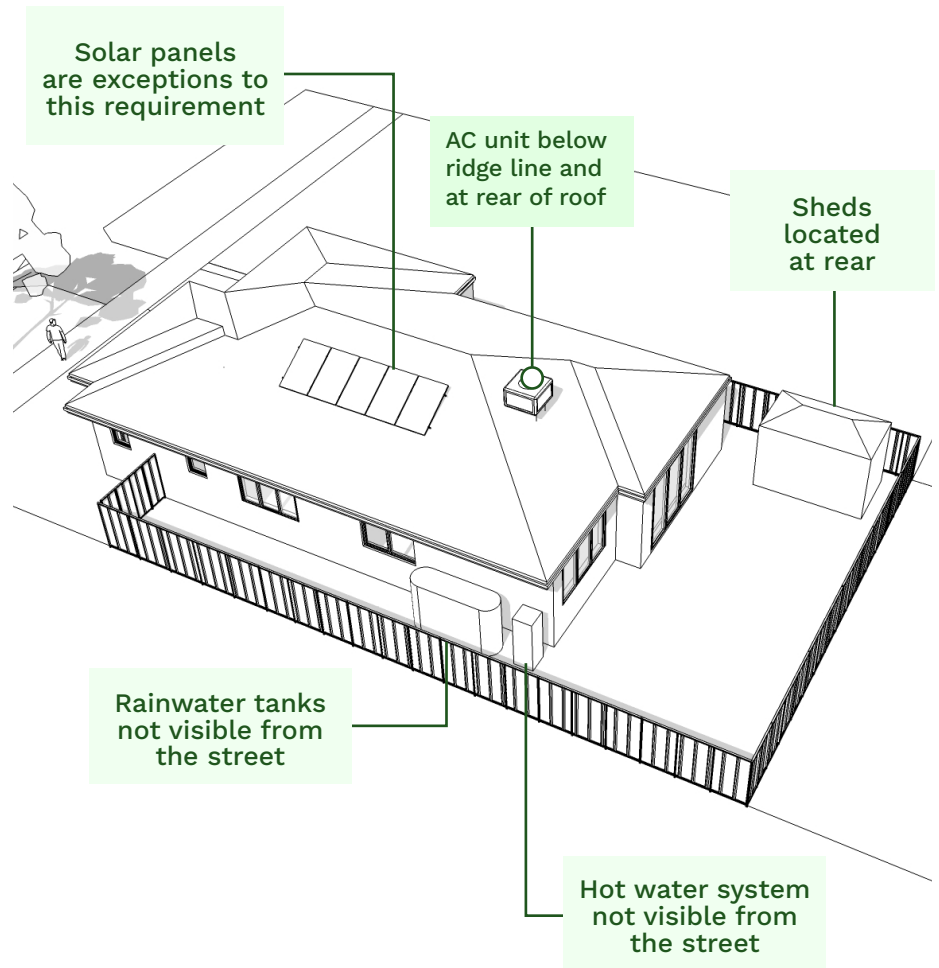
Solar panels for heating water or generating energy are exceptions to this.

6.2 Bin storage

Rubbish bins must be screened and out of public view. Bin location and storage area is to be noted on plans at time of submission. Dedicated bin storage is required behind the front building line of the home behind the side fence return and must be detailed on the plan.

6.3 Outbuildings

All outbuildings and garden sheds must be constructed behind the front and/or secondary street building line unless it can be shown that they are not visible from the adjacent street or public area.





7. Presentation and maintenance of your home

7.1 Obligations during construction

Your property must be kept in a clean, presentable and safe state at all times until construction is completed. This should be done by establishing an industrial waste bin on site as soon as construction commences. This waste bin must be regularly emptied and must be covered when full.

7.2 Ongoing obligations

Where Stockland has constructed a fence or retaining wall, it must be maintained by the owner to the standard to which it was constructed and must not be modified without written consent from Stockland.

The ongoing maintenance of landscaping to the front and rear of each lot (including verges and street trees) is the responsibility of the lot owner. The lot owner is not to permit these areas to become overgrown or to fall into a state of disrepair.





Explanatory Notes



Architectural Feature	Acceptable architectural features to comply with clause 3.6 may include a gambrel, gable-end, blade wall or any other feature visible from the public reserve.
Articulated Facade	Variations to the elevation through projections and indentations in the floor plan resulting in the creation of shadows and depth to add visual interest.
Carport	An open, self-supporting structure or a structure under the main roof supported by posts, pillars or piers.
Corner Lots	A corner lot is defined as being located at the junction of two streets, street and mews or at the junction of a street and public reserve.
Entry Pergola	An entry feature with a separate permeable roof and supported by pillars or piers.
Facade	A facade is the face of a building especially the primary or front elevation showing its most prominent architectural features.
Gable	A triangular top section of a wall on a building with a pitched roof. Gables may be in the same material as the wall or include a secondary material such as timber or weatherboard cladding.
Gambrel	A triangular feature within the roof structure most commonly finished with timber or weatherboard cladding.
Habitable Room	Includes all living rooms, kitchens and bedrooms, but not bathrooms, WCs or circulation space.
Laneway	Is a narrow local street type without a verge which is located along the rear and/or side property boundary. Vehicle access to garages should be from the laneway.
Main Building Line	The main building line is measured from the front most habitable room on the primary street elevation not the projection of a feature.
Masonry Gateway Wall	A self-supporting structure usually detached to the main dwelling and located in front of the primary entry.
Mews	Is a narrow local street type without a verge which is located along the front of the property boundary.
Moulding & Sills	Architectural moulding and sills will be accepted as a secondary colour or material where it is considered of merit to the overall design and character of the home.
Porches	Porches are created through an indentation in the floor plan resulting in an area of overhanging roof, usually where the front door is located. (Porches or indentations in the floor plan covered by the main roof will not be considered an architectural feature.)
Portico	An entry feature with a separate roof and supported by masonry pillars and/or posts.
Primary Street	The front elevation of the home will be situated on the primary street which includes the main entry to the dwelling.
Projecting Blade Wall	A wall which projects forward of adjacent walls, is perpendicular to the facade and usually extends past the gutter line.
Public Reserve	A public reserve is any parkland, bushland or wetland designated as public open space within the residential community.
Return Fence	A return fence extends from the secondary street fencing to the side of the home.
Secondary Street	The secondary street is the road which intersects or adjoins the primary street and does not include the main entry to the dwelling.
Verandah	A shading structure which has its own separate roof and must be supported by posts, pillars or piers.
Window Hood	A structure which is attached to the building and designed to provide shading to windows.
Window Overhang	A window overhang is a structure built into the home that shades windows as a substitute to eaves.

A photograph of a man and a woman sitting on the floor, looking at a large set of architectural blueprints. The man is on the left, wearing a grey sweater, and the woman is on the right, wearing a red and blue plaid shirt. They are both smiling and appear to be in a collaborative discussion. The blueprints show various architectural drawings, including floor plans and structural details.

Design
Approval
Checklist

Design Approval Checklist



Site plan

1:200 or 1:100 scale

- Existing and proposed contours
- Proposed floor levels
- All setback dimensions to boundaries
- Fencing (incl. dimensions of fence return setbacks, stepped fencing, side street boundary fencing, etc)

Floor plan

1:100 scale

- Internal layout
- Dwelling areas
- Dimensions (including setbacks, articulation, porch, etc)
- Ancillary fixtures and equipment (eg. rainwater tanks, hot water systems, etc)
- Sheds, outbuildings, pergolas, etc

All elevations

1:100 scale

- External materials and colours
- Proposed floor levels and building heights from natural ground level
- Eave dimensions
- Roof pitch
- Sheds, outbuildings, pergolas, etc

Sections

1:100 or 1:50 scale

- Built form and natural ground level
- Site cut/fill
- Ceiling heights
- Retaining walls

External materials & colours schedule

- Wall cladding material and colour
- Roof material and colour
- Gutters, fascias, downpipes colour
- Window and door frames colour
- Decks, verandahs, etc
- Fencing material and colour
- Driveway material and colour

Landscape plan

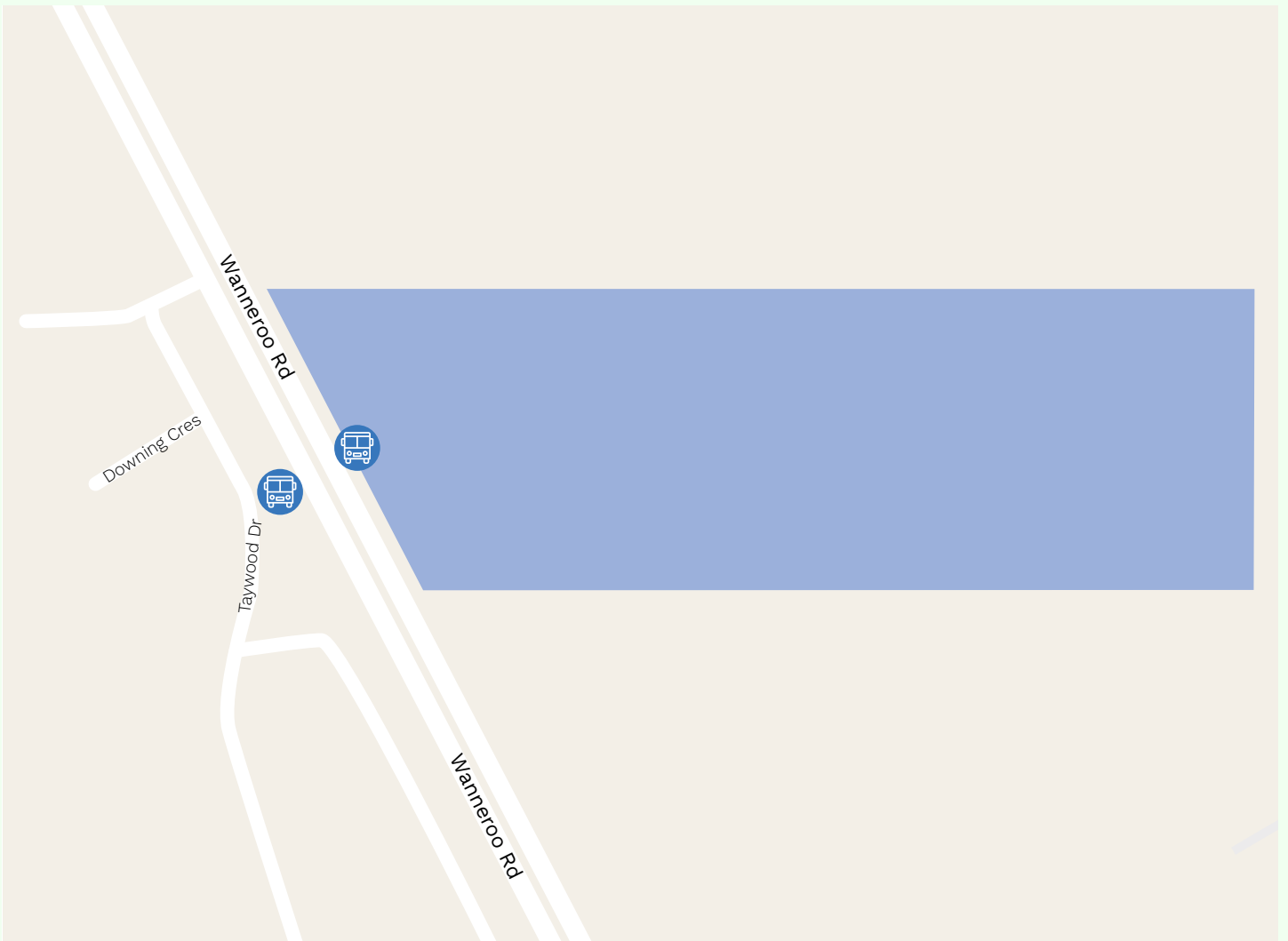
1:100 scale

- Plant list, including species and sizes
- Front fencing details, material and colour
- Driveway material and colour
- Paving or hardscape material and colour
- Retaining walls

Contact us

E: design@stockland.com.au
builderportal.stockland.com.au

stockland.com.au
stockland.com.au/illyarrie



All details, images, and statements are based on the intention of, and information available to, Stockland as at the date of publication June 2023 and may change due to future circumstances. All images and photographs are conceptual and indicative only. An approval issued by Stockland under these Design Essentials is not an approval or certification from the local council, from an accredited certification authority or under the requirements of any legislation. Any building plans submitted to Stockland are not checked by Stockland for compliance with structural, health or planning requirements, or for the suitability of the building for your intended use. Stockland reserves the right to approve designs and works which do not comply with these Design Essentials where considered to be of merit, and to vary, relax or waive any of the requirements in this document, at its absolute discretion. If Stockland exercises any of these rights, this will not set a precedent or imply that the same or similar approval will be repeated by Stockland in the future.
