

Design Essentials





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Our vision

The vision for Stockland Alkimos Beach

From its rugged sand dunes to bright blue water and fresh ocean air, life at Alkimos Beach is spectacular however you view it.

Move into an established community with two schools, nine parks, fitness precinct, shopping and dining facilities and a choice of active community and sporting clubs.

A multi-award winning community, Alkimos Beach is perfectly located in the centre of Perth's popular coastal northern suburbs, with the beach on your doorstep and just 15km north of Joondalup and 40km north of the Perth CBD.

Embracing the natural beauty of the site, Alkimos Beach will achieve an authentic blend of architecture and landscape that offers a myriad of lifestyle options that encourage people of all life stages to build a life together.



Building at Alkimos Beach

Design Essentials explained

The Design Essentials form part of your Contract of Sale and should be referred to when designing your new home. They are intended to create an attractive streetscape that results in a cohesive, quality urban form, while not precluding individual design solutions.

Stockland encourages a variety of architectural styles and materials in the design of your home. Stockland reserves the right to vary the requirements of the Design Essentials at its discretion and approve works which do not comply with the Design Essentials where considered to be of merit.

The Design Essentials apply in addition to, and not in lieu of other statutory requirements. Approval from your Local Government Authority will still be required in addition to any approval issued by Stockland. Any Detailed Area Plans take precedent over these Design Essentials.

Explanatory notes are included in the pack to provide clarification on elements of the Design Essentials.

Your home

The Residential Design Essentials (RDE) are to be read in conjunction with Local Development Plans (LDP), formerly known as Detailed Area Plans (DAP), that are administered by the local council, the City of Wanneroo. A LDP aims to support the vision for Alkimos by varying the deemed-to-comply requirements stated in the Residential Design Codes (R-Codes). In April 2016, the WA Planning Commission released an appendix to the R-Codes for medium-density housing (R-MD Codes) intended to limit the use of LDPs to sites with particular development constraints and/or opportunities. It is important that you and your builder understand both the RDG and the R-and R-MD Codes to ensure that the design for your home complies with developer requirements assessed by Stockland as well as the statutory requirements assessed by the City of Wanneroo.

Our garden

The Landscape Design Guidelines complement the Residential Design Essentials and provide an overview of the front garden design solutions that are available for Alkimos Beach residents as part of the landscaping package described in Annexure B of the Contract of Sales. These designs have been prepared to respond to the climate of Alkimos Beach and help achieve the sustainability targets set to minimise the environmental footprint of the development.

Compliance with the Design Essentials

When you buy a lot at Alkimos Beach a caveat is placed on the title, which means that you must obtain Developer Approval from Stockland prior to commencing construction. This is to ensure that the design proposed for your home meets the requirements set out in these Design Essentials.

Compliance with Part 1 of the Design Essentials is assessed by Stockland as part of the Developer Approval process while compliance with Part 2 of the Design Essentials is managed by a landscaping contractor on Stockland's behalf as part of the front landscaping package available to Alkimos Beach residents. The present document focusses on Part 1 of the Design Essentials and provides an overview of Design Considerations as well as a step-by-step guide on how to obtain Developer Approval from Stockland.

Developer's responsibility

Whilst Stockland will endeavour to ensure compliance with these Design Essentials wherever possible, Stockland will not be responsible or liable to any person for any loss, damage or injury arising whether directly or indirectly from any non-compliance with these Design Essentials.

If you have any questions regarding the requirements in the Design Essentials, email design@stockland.com.au.



Stockland's commitment

Stockland's commitment and objectives

Stockland's commitment to you is to encourage and showcase quality urban design throughout Alkimos Beach. Stockland's objective is to create a pleasant living environment that is centred around a strong sense of community and provides a variety of housing solutions to suit a diverse range of lifestyles.

Designing your ideal home is one of the biggest advantages of building new and our Design Essentials are put together with you in mind and to assist you in getting the most out of your investment and lifestyle.

It is important that the design of your home is in keeping with the Design Essentials outlined in this document. They have been created to:

- Encourage visually appealing and cohesive streetscapes that protect your investment.
- Promote environmentally responsive development.
- Help you get the best out of your homesite.
- Outline the process to get your home approved.
- Assure you that everyone will contribute to achieving a strong neighbourhood character and standard of housing.
- Promote a contemporary approach to design that responds to the local climate, and deliver on 'The Community Vision'.



Design approval process

Submission requirements

In order to build, you must apply and have an application package approved by Stockland's Design Services Team. Design Approval by Stockland does not constitute development or building approval or compliance with building regulations. Upon obtaining Design Approval from Stockland, a building approval must be obtained from the local government or a private building certifier before construction can commence.

The process

Stockland's Design Services Team will endeavour to assess proposals in the shortest possible time, generally within 10 business days of receiving all required information for the application. Approved plans will be stamped approved, copied and returned to the applicant or their agent. The progress of the home will be monitored by Stockland to ensure that it conforms with the approved design.

All requests for comment from Stockland's Design Services Team should be sent to design@stockland.com.au.



1. Review

Review Design Essentials and Contract of Sale.



2. Check

Check for special requirements unique to your community (Stockland will identify these for you).



3. Design application

Submit 'Design Application' to Stockland for endorsement through our website builderportal.stockland.com.au



4. Building application

Submit Building Application including Stockland's design approval to an accredited building surveyor to obtain a building permit and proceed to construction. Town Planning approval from council may also be required.

Developer's responsibility

Whilst Stockland will endeavour to ensure compliance with these Design Essentials wherever possible, Stockland will not be responsible or liable to any person for any loss, damage or injury arising whether directly or indirectly from any non-compliance with these Design Essentials.



The Design Essentials



1. Siting and servicing your home

1.1 Orientation of your home

Alkimos Beach is located in Climate Zone 5, which is defined by dry, hot summers and wet, cold winters. Good design considers passive solar design principles that respond to these conditions to suit the orientation of your lot.

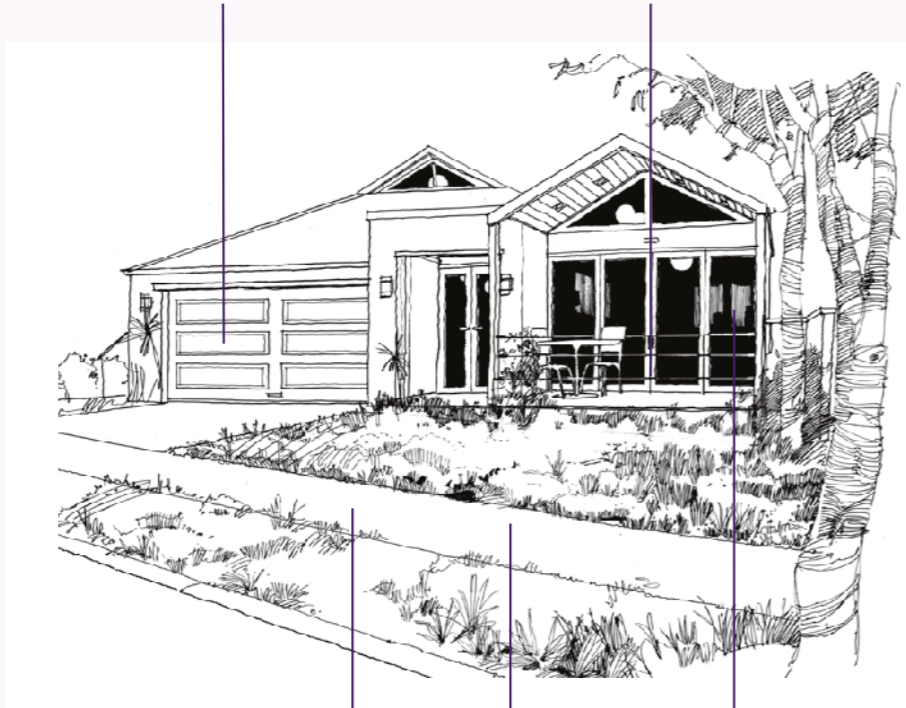
In winter, the midday sun is positioned low on the horizon and can provide a natural source of heat, provided it can enter through north-facing windows. In summer, the sun is positioned low on the horizon during the morning and afternoon, adding unwanted heat to your home, if permitted to penetrate east and west-facing windows.

Consideration should also be given to natural ventilation to improve air quality and thermal comfort within your home in the summer. During that time hot winds generally blow from the east until lunchtime, with cooler south-westerly winds occurring from mid-afternoon onwards. South facing windows are well suited for natural ventilation during the afternoon to relieve your home of hot air and create internal air movement that improves the comfort of your home.

A combination of passive solar heating and passive cooling is desirable and can reduce your energy consumption by up to 40 per cent.

Garage design and material complement the design of the home. Where possible the garage should be under the same roof as the residence and be designed to break down visual dominance of the garage door(s).

Open railings on verandas are encouraged. Solid veranda walls should be avoided unless well shaded. If applicable, veranda rails shall not be more than 1m high.



Naturally occurring slope towards street, promotes drainage and creates the opportunity for innovative landscaping.

Homes should either look to be built partly floating above the slope or firmly sitting on a base, in order to minimise construction to landform. Homes must be built to the identified pad level.

Glass panelled doors that open from indoor spaces into the veranda are encouraged. Homes need to provide a direct visual connection with the street.

Appropriate orientation of your home will ensure that you:

- make the most of the local climate and winter sunshine
- increase the thermal comfort inside your home all year around
- reduce your energy consumption and associated costs.

The Australian Government has released a comprehensive guide called 'Your Home – Australia's guide to environmentally sustainable homes' which is available for download from the below website.

<http://yourhome.gov.au/passive-design>

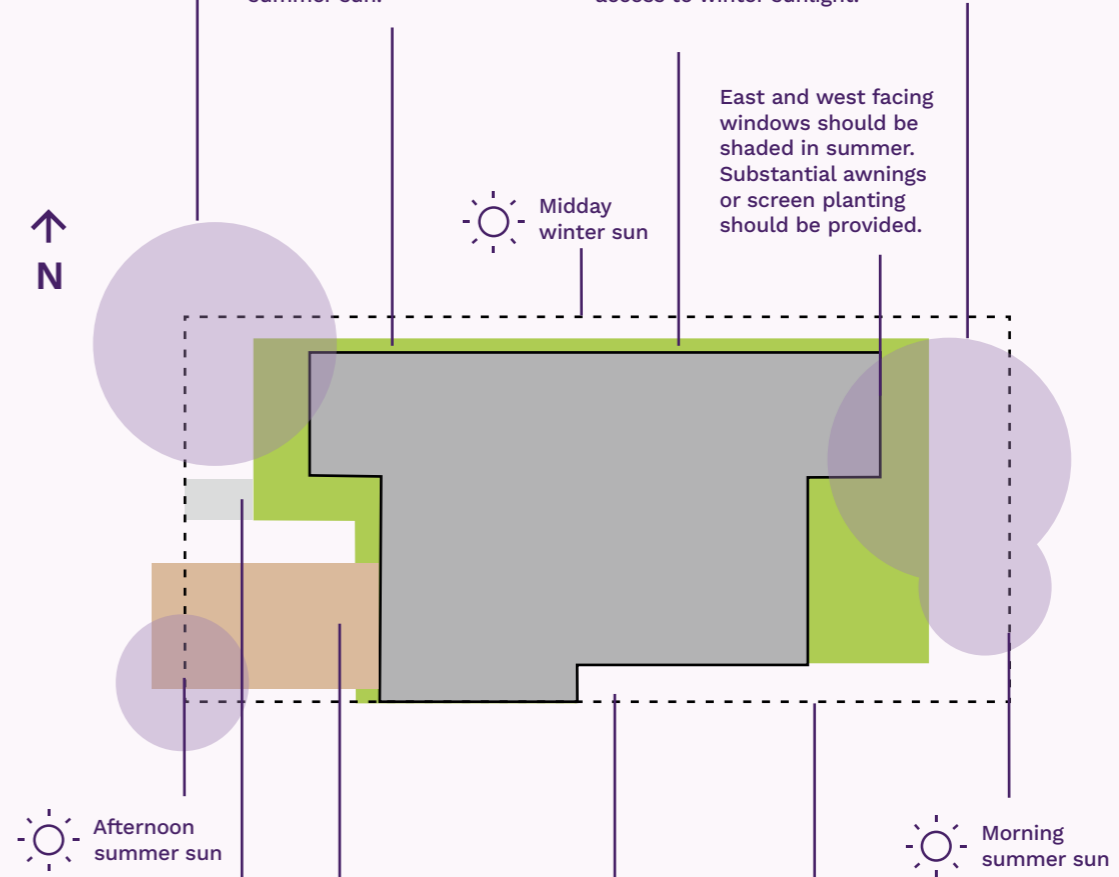
1.2 Planning your home for climate and comfort

The design shall allow the potential to plant at least one tree at both the back and front of the house.

North facing windows should have eaves (0.6 times the height of the window) or be protected by vertical louvres devices that enable winter sun penetration but exclude summer sun.

The home should be orientated so that main internal living spaces have north facing windows. Courtyards should be located on the north side, to maximise access to winter sunlight.

Shading to outdoor areas should maximise the balance between shading windows in summer and allowing winter sunlight access.



A verandah, portico or balcony style shaded area is encouraged between the home and the street.

You must comply with the necessary requirements within the Detailed Area Plans, including setbacks, building height, location of ancillary services and garages.

The design should maximise opportunities for cross ventilation through all parts of the home.

An ideal location for bedrooms is to the south; this maximises the potential for cross ventilation and helps protect them from harsh morning and afternoon sunlight.



1. Siting and servicing your home – continued

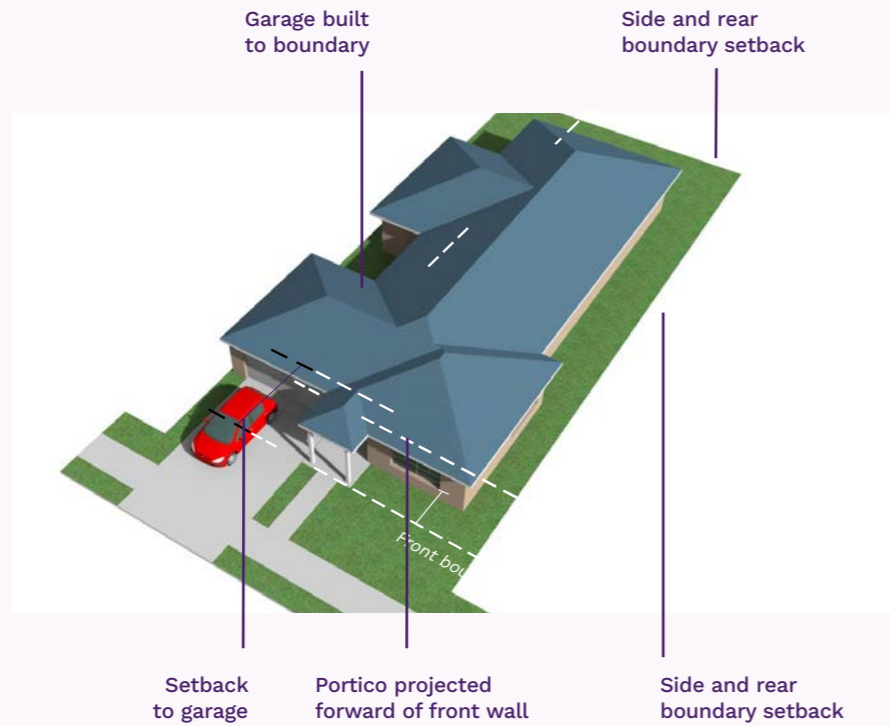
1.3 Setback and building heights

Setbacks determine where your home can be situated in relation to the lot boundaries such as to contribute positively to the visual appearance of the street. At present Detailed Area Plans nominate the setback you need to maintain, depending on the type of lot and its location within the Alkimos Beach community. Under the new R-MD Codes, setbacks will apply based on the residential zoning of the lot, unless varied by a Detailed Area Plan.

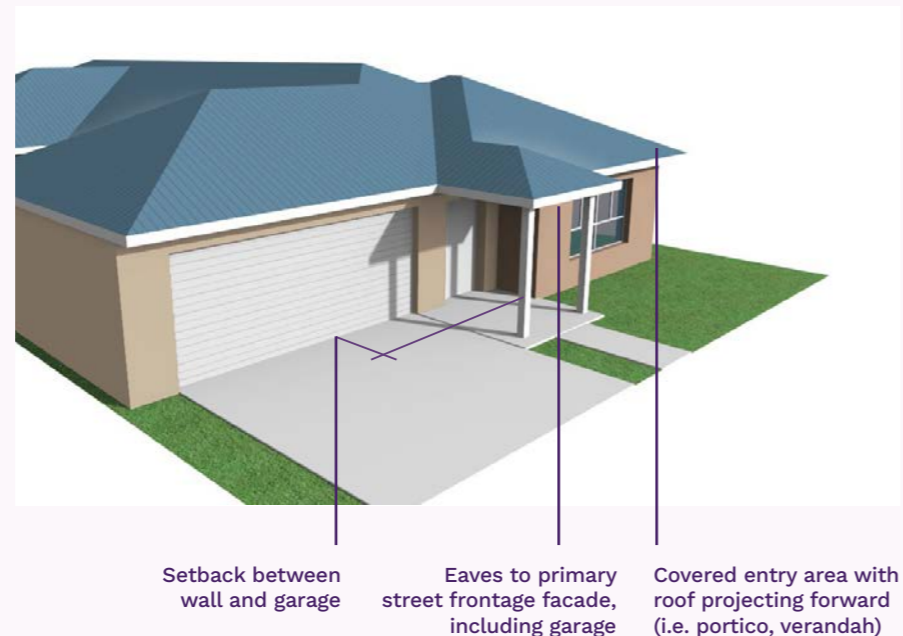
The front setbacks at Alkimos Beach are intended to enhance the character of your community and allow for a landscaping strip at the front of each lot for terraces, balconies, and entry porticos. You will need to consider the following mandatory conditions.

- Homes are required to maintain a minimum 3m setback to the front boundary (averaging not permitted).
- Garages must be located a minimum of 0.5m behind the dwelling or a minimum of 1m in front of the dwelling, provided the garage complies with the setback conditions of the R-MD Codes.
- Where a triple garage is proposed, the second garage door must be setback 1m behind the principal garage door.
- Verandas and porticos are encouraged and may be located within the 3m setback area.

Typical home built to its setback plan showing:



Typical single storey home facade showing:



2. How your home addresses the street

2.1 Secondary street frontage

Dwellings on corner lots are required to address both primary and secondary streets to enhance the streetscape and provide passive surveillance.

The secondary street elevation needs to have a suitable level of detail and include elements such as windows and roof overhangs, which are consistent with the primary street elevation.

- The colour scheme of the primary frontage façade must extend for at least 4m of the secondary street frontage.

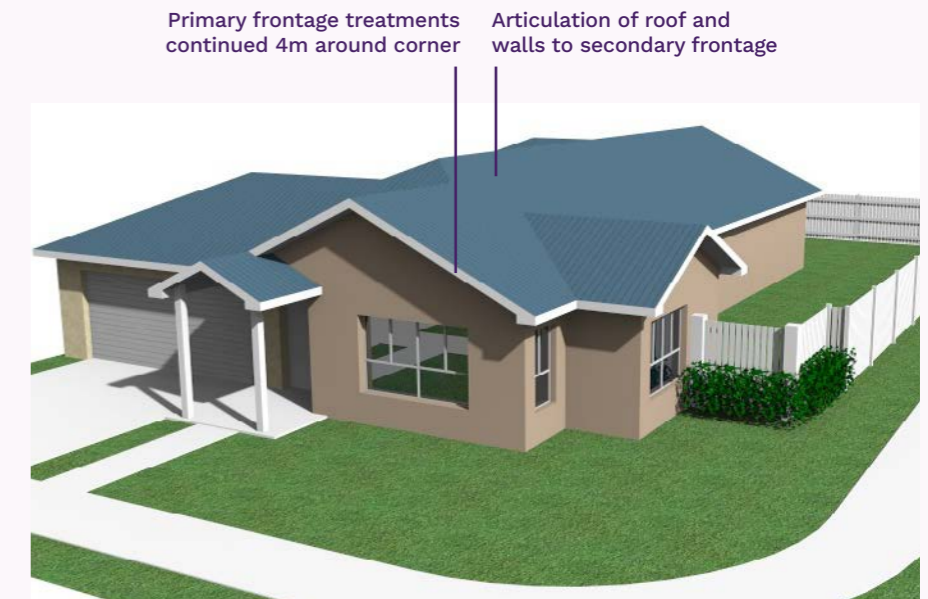
2.2 Building on slope

The slope across lots at Alkimos Beach helps to achieve a balance between a traditional coastal village set on the dunes, while ensuring that the lots are suitable for construction. Maintaining the natural slope also allows for expansive ocean views to a large part of Alkimos Beach.

You must ensure that the design of your house protects and takes advantage of the natural slope where possible. From the street your home should look like it is sitting on the natural slope rather than being cut into it. To do this you need to consider the following mandatory items:

- Dwelling Floor Levels: The Floor Level of your home must be within the highest lot level points found on site.
- Garage Floor Levels: The Garage Floor Level must be within 100mm of the highest lot level point found at the proposed garage location. It may be lower than the Floor Level of your home.
- Retaining walls: The natural finished slope to the boundaries is generally to be maintained.

Home on corner lot showing:



Alkimos Beach aims to celebrate and protect extensive areas of coastal dune-scape where possible.



2. How your home addresses the street – continued

The use of retaining walls is allowed but they must be designed and constructed in accordance with the requirements of these Design Essentials.

Where retaining walls are proposed behind the home, they must maintain a minimum 150mm clearance to the boundary; Where retaining walls are proposed in front of the home, they must maintain a minimum 1m clearance to the boundary and be appropriately landscaped to conceal the retaining from the street. The location and extent of retaining walls must be shown on the drawings submitted to Stockland for Developer Approval and you may also need to obtain a permit from the City of Wanneroo prior to construction. Please refer to their website <http://wanneroo.wa.gov.au/planningandbuilding>

- Retaining to outdoor living areas: Retaining walls to the edges of verandahs and porticos are generally permitted provided these outdoor living areas comply with the setback conditions of the R-MD Codes. Please consider the need for handrails and steps to ensure compliance with the relevant Australian Standard.

2.3 Built form

The term “built form character” refers to the look of the homes and other buildings constructed at Alkimos Beach. The built form of your home will make a significant contribution to the attractiveness and long-term value of the development. Similar to other landmark developments along the Western Australian coast, the homes and buildings should reflect the qualities of the local environment and natural attributes of the area. You can refer to the Glossary on page 15 for further information of the elements that make up the built form of your home. Some elements of the built form are more prominent than others and conditions are in place to manage their impact on the streetscape. All homes at Alkimos Beach must address the following built-form criteria:

- Comprise eaves to a majority of the front facade.
- or
- A combination of eaves and porticos or verandas. For this to be considered, porticos and verandas will need to be located completely forward of the home.
- Have a hip or ridge roof with a pitch of no less than 24 degrees and no greater than 35 degrees.
- or
- A skillion roof with a pitch of no less than 8 degrees and no greater than 15 degrees.
- or
- A flat roof with a pitch with a minimum roof pitch of 2 degrees. The roof must be concealed by a parapet wall such as to restrict visibility from the street.

2.4 Colours and materials

In keeping with the coastal setting of Alkimos Beach, Stockland encourages a neutral colour palette including the use of materials derived from natural components such as brick, timber and stone cladding, and recycled materials for landscaping, such as recycled brick and railway sleepers.

All homes at Alkimos Beach must provide details of the selected colour scheme at the time of application to ensure compliance with the criteria outlined below. Any significant variation to these colours will need to be justified on architectural merit and approval will be at the discretion of Stockland.

2.5 Roof coverings

Metal roofs must have a Solar Absorptance (SA) rating of no more than 0.60 and tiled roofs must have a Solar Absorptance (SA) rating of no more than 0.80, as classified by the Building Code of Australia. The below selection provides an overview of the different SA ratings for reference purposes. Product-specific ratings are readily available from the suppliers’ website.

Selecting a light or medium colour will also reduce the amount of incoming solar radiation and may help you save energy. Black, red, blue or green roofs are not permitted.

2.6 Garage doors

Garage doors must be selected from the above range of Colorbond colours or comprise a timber-look finish.

2.7 Roof colours



2.8 Feature elements

Feature Walls or minor elements such as gutters, windows, and chimneys may comprise bold colours but must complement the remainder of the dwelling.

2.9 Fencing

Visible fencing at Alkimos Beach is being kept to a minimum to achieve an open and natural space that supports the intimate character of the neighbourhood.

A complimentary Fencing Package is provided to all homes at Alkimos Beach and typically consists of a 1.80m high, visually non-permeable metal fence.

The extent of fencing may vary between lots due to their orientation, shape and type. Fencing will typically be installed to the side and rear boundaries only as fencing forward of the home is not permitted. Exceptions apply to irregular shaped lots where additional fencing may be installed at the discretion of Stockland.

You will be required to submit Annexure B of the contract prior to handover to allow sufficient time for works to be scheduled and completed. We encourage you to review the Fencing Design Guidelines prior to submitting Annexure B and familiarise yourself with the rights and obligations.

2.10 Ancillary elements and structures

Services equipment such as air-conditioning units and ancillary fixtures such as clothes lines can have an adverse effect on the streetscape and must be appropriately located such as to not be visible from the street.

The below options are intended to help you find a suitable location for these items that does not distract from the overall street appeal. Stockland may request retrospective screening following completion of the home in cases where building fixtures are visible from the street.

- Place air-conditioning units and water tanks a minimum >1m behind the building line that is furthest away from the primary street.
- Install satellite dishes and antennas at the rear of the roof.
- Place solar panels such as to maximize solar gain. For lots with North elevations facing the street, solar panels may be visible from the street.
- Hot water systems with roof-mounted tanks are generally not permitted unless there is insufficient space to accommodate the tank on the ground.
- Letter and planter boxes must complement the remainder of the dwelling.



3. Sustainability at Alkimos Beach



The sustainability initiatives outlined on the following pages have been carefully selected to ensure that your home design is smart in regards to its energy and water consumption.

By implementing these initiatives, your home will be more comfortable to live in, conserve energy and water and thus be cheaper to run and maintain.

Alkimos Beach has been planned to comprise a large number of North facing lots, allowing you to apply passive solar design principles when designing the home. **Speak to your builder about how you can achieve an energy rating that exceeds the minimum 6* requirement.**

Find more sustainable living initiatives on our website.

Five smart reasons to install solar power in your home:

1. Lower your power bill.
2. Generate your own electricity.
3. Control and manage your electricity costs.
4. Feel good about helping the environment.
5. Enjoy preferential rates and flexible payment.

3.1 Energy smart

As part of the commitment to carbon neutral living, Alkimos Beach is focused on creating all-electric developments. Our Energy Smart initiative is designed to help you:

- Apply solar passive design principles and make the most of the sun.
- Install energy-efficient heating and cooling options.
- Install energy-efficient hot water systems and solar panels.
- Install an induction cooktop for all-electric living.

All homes at Alkimos Beach are required to install a solar PV system and an energy-efficient hot water system.

To assist you with the costs for these items, DevelopmentWA and Stockland are providing each home owner of Alkimos Beach with a complimentary All-Electric Home Incentive.

The incentives in this package may vary but typically include combined rebates for:

- A solar PV renewable energy system.
- An energy-efficient hot water system.
- An induction cooktop.

Please refer to your Contract of Sale for the inclusions of the All-Electric Home Incentive applicable to your home and ensure that the items listed therein are considered when building your home. The costs may vary among suppliers and we encourage you to obtain quotes from a few different suppliers or ask your builder to include the items in their scope of works.

Once installed, you can submit Annexure C of the Contract of Sale and Stockland will arrange for the payment of rebate into your nominated bank account.

3.2 Water smart

Water has become a scarce resource in Western Australia due to declining annual rainfall and a growing population. The Water Smart initiative focuses on the conservation of water in your home and garden to maximise water efficiency and help you save money. You can easily reduce your annual water consumption by >50,000 litres by being smart with the sanitary fixtures and landscaping you chose for your home.

Water-efficient sanitary tapware is readily available and usually comparable in cost to standard types. Therefore all homes at Alkimos Beach must meet the following the Water Efficiency Labelling Scheme (WELS) ratings in accordance with the national Water Efficiency Labelling and Standards Act 2005.

- 5* WELS tapware to the Kitchen, Laundry and Bathrooms.
- 4* WELS toilets to all WCs.
- 3* WELS rated shower rose with a maximum water consumption of 7.5L/min.

Assessment of these items will occur as part of the Developer Approval. For further information, please refer to Table 2 – Compliance Checklist of the Developer Application Form.

3.3 Landscape smart

Your garden is an extension of your home and you can adapt it to suit the way you live and thus enhance your quality of life. The Landscape Smart initiative focuses on water-wise garden designs that are responsive to the climate and locality of Alkimos Beach. It is designed to help you establish a low maintenance garden that will be beautiful for years to come.

A complimentary Front Landscaping Package is provided to the front garden all homes at Alkimos Beach and you can select from a range of designs to suit your home. The extent of landscaping

may vary between lots due to their orientation, shape and type, and your preferred plant selection. Our contractor will assist you with finding a design that meets the **mandatory requirements** for front gardens outlined below.

- At least 20% of the area is unsealed to allow for water infiltration.
- At least 85% of plants are native to Western Australia or drought-resistant to reduce water consumption.
- Every detached dwelling has a mature tree to help establish tree-lined streets.
- Natural turf is installed to no more than 80% of the planted area to reduce water consumption.
- 100% recycled, water permeable synthetic turf is used as feature element only and to no more than 50% of the planted area.

In order to receive your landscaping, please submit Annexure B of the contract prior to handover of your home to allow sufficient time for works to be scheduled and completed. We encourage you to review the Guide to Smart Landscaping appended to these guidelines.

3.4 More smart tips

- Install a reticulation system with a Smart Approved WaterMark label.
- Reduce your reticulation run time to 2 minutes a day and switch it off during winter.
- Install a rainwater tank to help water your garden.
- Cover your pool to reduce evaporation.

You can also refer to the Water Corporation website for further information.



4. Other considerations

4.1 Adaptability

In order to create an adaptable house and garden that will suit your needs today and in the future, think about how your lifestyle may change over time. Will you need more space for children and/or a low-maintenance garden?

You could also consider the potential requirements of future buyers. For example, given our ageing population, you may want to ensure your home is accessible to people with limited mobility. Speak to your builder about how this can be considered in the design of your home and refer to the Smart Design for Accessibility in Your Guide to Smart Living.

4.2 Safety and surveillance

The way a community looks and feels has an important influence on the perceived sense of security within the community.

In order to make Alkimos Beach a safe place to live, your home design should have a direct visual connection with the street and include at least one major window that faces the primary street. Providing a verandah to the front of your home is another option to enhance the streetscape.

4.3 Privacy and views

Views and privacy are important considerations for the design of your home. The Design Essentials generally permit you to enjoy views downhill and across the neighbourhood, especially from front verandas. In turn, this means you will need to think about how you maintain your desired level of privacy from those who overlook your property. Orienting outdoor spaces away from overlooking windows and outdoor spaces is recommended. When siting your home, consider that an elevated position may compromise the level of privacy in favour of expansive views.

4.4 Communications

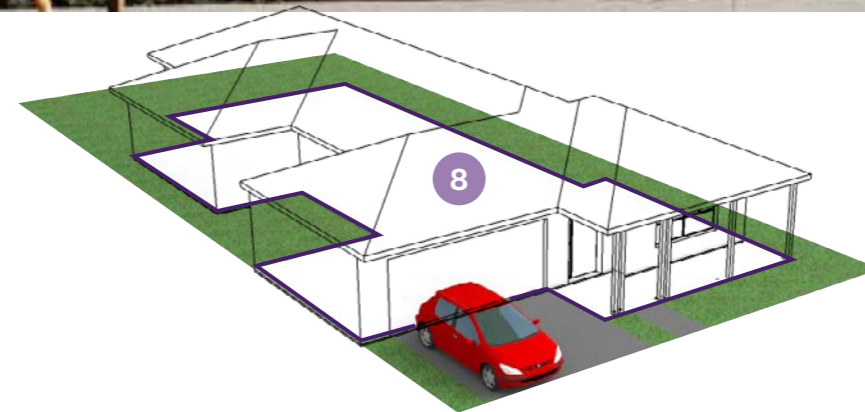
The information and communication technology infrastructure at Alkimos Beach is designed to respond to the growing use of technology in everyday life and to allow for advances in this area. This infrastructure, often referred to as Fibre to the Home (FTTH), caters for the delivery of phone, internet and television services, including free to air and pay TV. It will also be capable of supporting a range of other services, such as security, energy monitoring and home automation as these become commercially available.

In order to take advantage of this technology and connect to the available communication infrastructure, it is important for your builder to provide the appropriate conduit and cabling interface between your home and the street. The relevant information can be found on the below website of the communication provider Opticomm.

www.opticomm.com.au

Will you need more space for children or perhaps a low-maintenance garden?

Glossary



- 1 Front Wall**
is the wall of the house closest to the front boundary
- 2 Porch, Veranda**
a covered outdoor area
- 3 Setback**
the distance between your property boundary and the wall of your house
- 4 Portico**
walls
- 5 Articulation**
walls on different setbacks from the property boundary
- 6 Build to Boundary Line**
a portion of the house or garage that is built to the side boundary or within 200mm of it
- 7 Pedestrian Path**
a path adjacent the driveway specifically for pedestrians
- 8 Site Cover**
is the area of the footprint of your house expressed as a percentage of your lot area. The footprint of your house includes all ground floor areas measured to the outside walls and also covered verandahs or porches.



Glossary – continued

A summary of mandatory items

Design compliance:

- The outdoor living areas must be located on the north side. (Not applicable to home where they are facing north to the street.)
- For corner lots, the level of detail and colour scheme of the primary frontage facade must extend to the secondary street frontage.
- Front elevation must comprise eaves to a majority of the front facade OR a combination of eaves and porticos or verandas.
- Homes must have a hip or ridge roof with a pitch of >24 degrees and <35 degrees OR a skillion roof with a pitch of >8 degrees and <15 degrees OR a flat roof with a pitch of >2 degrees.
- Roof coverings must have a Solar Absorptance (SA) rating of <0.60 as classified by the Building Code of Australia.
- Homes are required to maintain a minimum 3m setback to the front boundary (averaging not permitted).
- Garages must be located a minimum of 0.5m behind the dwelling or a minimum of 1m in front of the dwelling, provided the garage complies with the setback conditions of the R-MD Codes. Where a triple garage is proposed, the second garage door must be setback 1m behind the principal garage door.
- Garage doors must be within the approved colour palette shown on page 18. Feature walls or minor elements may comprise bold colours but must complement the remainder of the dwelling.
- The Floor Level of your home must be within the highest lot level points found on site. The Garage Floor Level must be within 100mm of the highest lot level point found at the proposed garage location. It may be lower than the Floor Level of your home.
- The natural finished slope to the boundaries is generally to be maintained. The use of retaining walls <500m in height is allowed but they must be designed and constructed in accordance with the requirements of these Design Essentials.
- Ancillary elements and structures must be appropriately located such as to not be visible from the street.

Energy smart compliance:

All homes at Alkimos Beach are required to install the following items. (*Please check Annexure C of the Contract of Sales applicable to your lot)

- Solar PV system*
- Energy-efficient hot water system*
- 5 Star WELS tapware to the Kitchen, Laundry and Bathrooms
- 4 Star WELS toilets to all WCs
- 3 Star WELS rated shower rose with a maximum water consumption of 7.5L/min

Landscaping:

- Landscaping in accordance with the requirements outlined on page 15.



Design approval checklist

Design approval checklist



Property details

Lot number: _____

Precinct: _____ DAP number: _____

Street name: _____

Lot type (A/B/C/D or DX): _____

Residential Design Guidelines Reviewed (Y/N): _____

Owner/s details

Name(s): _____

Email: _____

Phone number: _____

Signature/s: _____

Phone number: _____

Signature/s: _____

Previously submitted (Y/N): _____

Application details

Company name: _____

Email: _____

Date Submitted: _____

How to use this document

- Table 1 – Drawing Checklist notes the information that must be shown on the drawings to assist with the assessment of your application. Please tick each item listed under Information required to indicate that the documents you provide reflect the level of detail required.
- Table 2 – Compliance Checklist includes the items that relate to compliance with the project-specific guidelines and contractual obligations. Please tick each item listed under Information required to confirm that the proposal complies with these mandatory items, and attach specifications OR your Pre-Start Schedule/Addendum where required.
- Table 3 - Compliance Checklist lists the building element to be considered in your colour scheme. Please provide information for each element listed under Item 3.2 OR submit your Pre-Start Schedule to confirm that the proposal complies with the project specific colour and materials palette appended to the guidelines.

Please submit this application form along with the supporting documents via email to builderportal.stockland.com.au.

Assuming a complete set of documentation is received, assessment will take approximately 10 working days to complete. Additional time may be taken if adjustments to your plans are required. We are here to help and you are welcome to contact us via the above address to clarify any queries.

Table 1 – Drawing checklist

Please tick the box for each item to indicate that the drawings provided contain the mandatory information noted in Table 1.

Site plan

1:100 scale

- Lot numbers, Street Name, Boundary, Services, North Point, Setback Dimensions, Retaining Walls.
- Contours and Spot Levels across the site.
- Highest spot level 3m in from the front and the rear boundary.
- Finished Floor Levels to Ground Floor and Garage.
- PVC pipe to be installed beneath driveway for connection to reticulation as per Annexure B.

Floor plan

1:100 scale

- Dimensions (Garage Widths, Courtyard, Veranda/Portico, etc.)
- Extent of Eaves to home shown, in particular to the Front Elevation. Refer Item 1.4 of Table 2 for details.

Elevations

1:100 scale

- Natural Ground Level shown as dashed line, demonstrating how the design addresses the context of the site.
- Location of Material and Colours indicated on elevations.
- Location Solar Panels shown for both the PV System and Gas Boosted Solar Hot Water Unit.



Table 2 – Compliance checklist

Enhancing the design and value of your home

Please tick the appropriate box for each item to indicate that you have considered the design principles noted in this table and your proposal meets these mandatory criteria.

Dwellings on **Corner Lots** must address both primary and secondary streets. The secondary street elevation must have features and a suitable level of detail that are consistent with the primary street elevation (e.g. eaves, windows, facade treatment). Rendered facades must extend minimum of 4m past the corner of the secondary street.

- Not applicable
- Suitable level of detail provided

The **Front Elevation** must comprise minimum 0.45m deep eaves to the majority of the façade OR a combination of veranda/portico and eaves to enhance the residential nature of the streetscape.

- >50% of eaves provided
- Combination of eaves & veranda/portico provided

Hip and ridge Roof Pitch must be no less than 24 degrees and no greater than 35 degrees. Skillion roofs are encouraged and are assessed on a case by case basis.

- Roof is within approved range of pitch
- Combination of eaves & veranda/portico provided

Dwellings must maintain the following **Setbacks** pursuant to R-MD provisions

- **Dwelling** => minimum 3m to front boundary.
- **Veranda/Portico** => minimum 1.5m to front boundary.

- Setbacks maintained

Garages must be located a minimum of 0.5m behind the dwelling or a minimum of 1m in front of the dwelling, provided the garage complies with the setback conditions of the R-MD Codes. Where a **triple garage** is proposed, the second garage door must be setback 1m behind the principal garage door.

- Variation between garage and dwelling frontage maintained

Table 2 – Compliance checklist – continued

Reducing your energy and water consumption

Please tick the appropriate box for each item to indicate that you understand the mandatory items noted in this table.

All homes must meet the minimum **6 star thermal energy rating** as stated in the National Construction Code of Australia. Higher energy ratings are encouraged. Thermal Comfort Rating Report provided.

- Report will be provided prior to construction
- Report is attached. _____ Stars achieved
- Alternative Verification Method used

All homes must comprise the fixtures noted in the **All-Electric Home Incentive** as per the Contract of Sales.

Assessment of these items will occur as part of an All-Electric Home Incentive assessment upon occupation of home. Refer to Annexure C – Contract of Sale for full terms and conditions.

- Owner will be installing items as required. Pre-Start Schedule attached for assessment
- Pre-Start Schedule / Addenda provided

All homes must to comprise the following **sanitary fixtures**

- > WELS 5 star rating for taps.
- > WELS 4 star rating for toilets.
- > WELS 3 star rating and water consumption <7.5L per minute for shower roses.

Alternatively, provide flow restrictor.

Assessment of these items will occur as part of Developer Approval prior to construction. Specifications / WELS ratings need to be provided as part of this application.

- Specifications/WELS Rating attached
- Addenda provided

Table 3 – Colour scheme

Selecting the colours and materials for your home

Please tick the appropriate box for each item 1.1 to indicate that you comply with the approved colour and material palette.

All homes must comply with the approved colour **and material palette** for Alkimos Beach such as to complement the coastal setting. Black, red, green or blue roofs are not permitted and dark colours are to be used for feature elements only.

- Item 1.2 – Colour and Material Schedule completed
- Pre-Start Schedule/Addenda provided

Colour and Material Schedule – Only applicable if Pre-Start Schedule not available. Example: Roof Cover => Type: Tiled. Manufacturer: Monier. Colour: Wild Rice)

Roof Cover (Type/Manufacturer/Colour)

Roof Accessories (Type/Manufacturer/Colour)

Brickwork (Type/Manufacturer/Colour)

Main Render (Manufacturer/Colour)

Feature Render (Manufacturer/Colour)

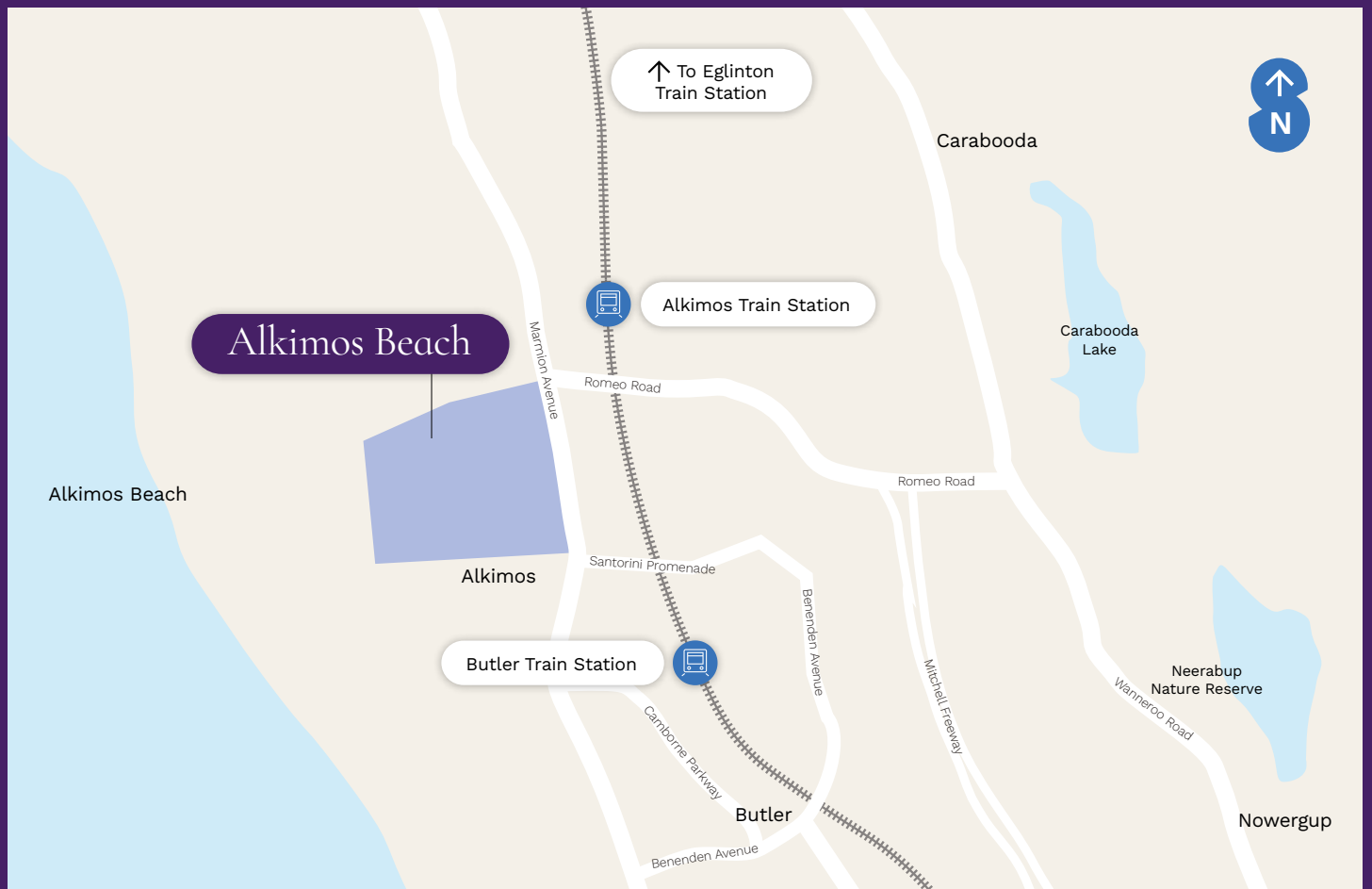
Feature Material (Type/Manufacturer/Colour)

Garage Door (Manufacturer/Colour)

ALKIMOS BEACH

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