

# Alkimos Beach

## EPBC 2011/5902 Annual Compliance Report 2014

Prepared for  
Lend Lease  
by Strategen

December 2014





# **Alkimos Beach**

## **EPBC 2011/5902 Annual Compliance Report 2014**

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December 2014

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### **Client: Lend Lease**

Report Version	Revision No.	Purpose	Strategen author/reviewer	Submitted to Client	
				Form	Date
Draft Report	Rev A	Client review	E Congear / B Downe, H Ventriss	Electronic	13 October 2014
Final Draft Report	Rev B	Client review	E Congear / T Bowra	Electronic	21 October 2014
Final Draft Report	Rev C	Client approval	E Congear / T Bowra	Electronic	30 October 2014
Final Report	Rev 0	DotE submission	E Congear / T Bowra	Electronic	7 November 2014
Final Report (addendum).	Rev 1	DotE submission / Lend Lease website	E Congear / T Bowra	Electronic	11 December 2014

Alkimos Beach EPBC 2011/5902

EPBC 2011/5902 Annual Compliance Audit

General Manager WA – Communities | Properties



Date...9 November 2014



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# 1. Introduction

This report addresses the status and compliance of implementation of the Alkimos Beach residential development with the conditions in *Environmental Protection and Biodiversity Conservation Act 1999* (EPBC Act) Approval 2011/5902 (EPBC 2011/5902). This report has been prepared for the purpose of meeting the requirements of condition 3 of EPBC 2011/5902, which requires the proponent to submit annual compliance reports.

## 1.1 Project background

Lend Lease, in partnership with LandCorp, is developing the Alkimos Beach Residential Development (Alkimos Beach, the project) located approximately 40 km north-west of the Perth Central Business District.

On the 30 June 2012, Alkimos Beach was approved by the Federal Minister for the Environment under ss 130(1) and 133 of the EPBC Act. The Alkimos Beach development involves clearing of approximately 97 ha of native vegetation for development of Lot 1004, 80L Romeo Road and 2611 Marmion Avenue, Alkimos.

The project comprises four precincts as detailed in the Precinct Plan (Figure 1). Each precinct comprises several stages.

## 1.2 Environmental approval to implement the project

The project was referred to the Department of the Environment (DotE) for assessment under the EPBC Act in 2011. The project was approved with conditions on the 30 June 2012 (EPBC 2011/5902). A variation to EPBC 2011/5902 was approved on 24 August 2012, amending condition 14 to include:

*Condition 14: Within 12 months of the commencement of **construction**, the person taking the action must provide the **Department** with a description and map clearly defining the location and boundaries of the offset property described at Condition 13, which must be accompanied with the **offset attributes** and a **shapefile**.*

A second variation to EPBC 2011/5902 was approved on 13 June 2013, following de-listing of the Graceful Sun-Moth from the threatened species list defined under the EPBC Act. The variation included removal of conditions 9, 10, 11, 15, 16, 17, Attachment B and changes to relevant definitions included in the EPBC 2011/5902 notice referring to those conditions. Revised conditions 10 and 11 were included in the EPBC 2011/5902 notice.

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Legend

Structure Plan Area

Reserves

- Public Use - (PS) Primary School
- Regional Parks & Recreation (Foreshore Reserve)
- Conservation POS
- Active POS

Zones

- Residential
- Commercial
- Mixed Use
- Private Clubs/Recreation

Other

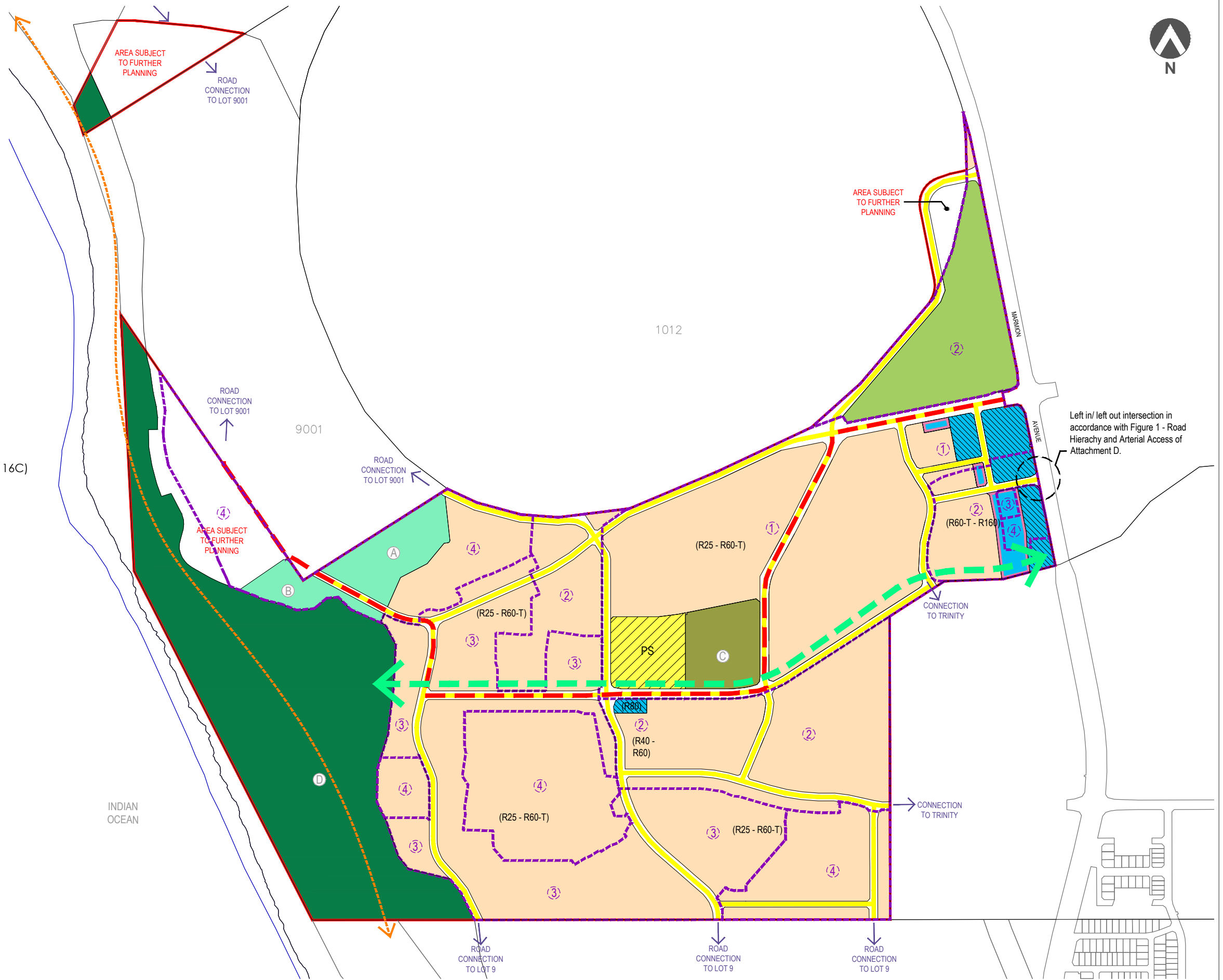
- Indicative STS Route
- Neighbourhood Connector
- Precinct Boundary (based on plan DLL ALK RD1 116C)
- Social / Pedestrian / Cycle Linkage
- Indicative Foreshore Pedestrian and Cycle Link (as per Alkimos-Eglinton District Structure Plan)

Precincts

- Precinct 1
- Precinct 2
- Precinct 3
- Precinct 4
- Strategic Public Open Space - Refer to Table 3 of Part 1 - Statutory Section

NOTES:

1. Areas identified as being of National Environmental Significance under the Environmental Protection and Biodiversity Conservation Act 1999 may be subject to assessment by the Federal Department of Sustainability, Environment, Water, Population and Communities, in accordance with this Act. The outcome of any such assessment may require either a modification to the LSP or minor variations from the LSP at the subdivision and/or development stage.
2. The clearing of habitat such as *Lomandra hermaphrodita* and *Maritima* that includes the taking of individual Graceful Sun Moths requires the permission of the Minister for Environment, or their delegate, pursuant to the Wildlife Conservation Act 1950. Evidence is to be provided to the WAPC at the time of subdivision that the licence (if required) has been issued by the Department of Environment and Conservation.



Left in/ left out intersection in accordance with Figure 1 - Road Hierarchy and Arterial Access of Attachment D.

robertsday.com.au planning.design.place



LOCAL STRUCTURE PLAN No.72 (AMENDMENT No.04)

Alkimos Beach, South Alkimos

City of Wanneroo



REF NO.	DRAW NO.	REV.
DLL ALK	RD1 008	N

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## 2. Current status

Activities undertaken during the audit period (6 September 2013 to 5 September 2014) involved activities relating to Precinct 1, 2, 3 and 4 of the Alkimos Beach development, including the following:

- planting within the following areas:
  - \* Marmion Avenue & Entry
  - \* Stage 1 - Graceful Boulevard
  - \* Stage 1 - Park A
  - \* Stage 1 - Park B
  - \* Stage 1 – Streetscapes
  - \* Stage 1 - Pink Species, SIC, LAD 29
  - \* Stage 2 - Streetscapes
  - \* Stages 3 & 4
  - \* Stages 5 & 6 – Streetscapes (Trees)
- Practical Completion and maintenance where required of the following areas:
  - \* Graceful Boulevard and Park A (PC 11/11/2013)
  - \* Stage 1 - Park A (PC 11/11/2013)
  - \* Stage 1 - Park B (PC 13/12/2013)
  - \* Stage 1 - Pectoral Ave (PC 11/02/2014)
  - \* Stage 1 - Marmion Ave and Entry Softworks (PC 18/02/2014)
  - \* Stage 2 - Pectoral Ave (PC 07/03/2014)
  - \* Stage 3 & 4, Park D & E – Pectoral Ave (PC 24/04/2014)
- clearing (Precinct 1, 2, 3 and 4) and construction activities (Precinct 1 and 2)
- approval following re-submission of the following management plans required by Conditions 10, 11 and 12:
  - \* Conservation Area Management Plan
  - \* Foreshore Management Plan
  - \* Precinct Landscape and Revegetation Plan.

### 3. Audit methodology

#### 3.1 Audit plan

##### 3.1.1 Purpose and scope

This document has been prepared for Lend Lease (the proponent) to fulfil the requirements of condition 3 of EPBC 2011/5902 issued to enable implementation of the Alkimos Beach development. Condition 3 requires the proponent to submit an Annual Compliance Report for the previous twelve-month period, addressing compliance with each condition of EPBC 2011/5902; whereby:

*'Within three months of every 12 month anniversary of the commencement of the action, the person taking the action must publish a report on their website addressing compliance with each of the conditions of this approval, including implementation of any management plans as specified in the conditions. Documentary evidence providing proof of the date of publication and non-compliance with any of the conditions of this approval must be provided to the Department at the same time as the compliance report is published. Each management plan must be published on the website for the length of the approval.'*

The Annual Compliance Report (ACR) addresses the audit period between 6 September 2013 and 5 September 2014 for the conditions and commitments of EPBC 2011/5902. Proponent management commitments included in the Precinct Landscape and Revegetation Plan (PLRP) (Lend Lease 2012) required by condition 12 were also assessed as part of the audit.

The Conservation Area Management Plan (CAMP) and Foreshore Management Plan (FMP) required by conditions 10 and 11 were not relevant to the activities undertaken during the audit period as construction has not yet commenced in the foreshore and conservation area; therefore, they were not assessed as part of the audit.

Management plans were audited, focussing on each item to determine if the plan achieved the required management objectives and targets and; therefore, had been satisfactorily implemented.

Where a previous ACR has indicated a condition was 'Completed', and there has been no further requirement to implement the action, the audit determination has been accepted as verifiable evidence.

##### 3.1.2 Methodology

The audit was undertaken in September 2014 and involved a site inspection (3 September 2014), interviews with key members of the project team and a review of documentation to support the audit. An audit closing meeting including an additional interview with the contractors (LD Total and AECOM) was undertaken on the 16 September 2014.

Table 1 provides an overview of the personnel consulted as part of the audit.

Table 1 Persons consulted during audit

Person	Organisation	Purpose
Nadja Kampfenkel	Lend Lease	To provide an overview of activities undertaken on site during the audit period to assess implementation and performance of EPBC 2011/5902 conditions and the PLRP
Joel Salmon	Lend Lease	To provide an overview of activities undertaken on site during the audit period to assess implementation and performance of EPBC 2011/5902 conditions and the PLRP
Kylie Bennett	LD Total	To provide an overview of activities undertaken on site during the audit period to assess implementation and performance of the PLRP
Faron Mengler	AECOM	To provide an overview of activities undertaken on site during the audit period to assess implementation and performance of the PLRP

### 3.2 Audit terminology

The 'Status' field of the audit table describes the implementation of the action and compliance with the condition, procedure or commitment. Although the General Manager of the OEPA makes the final determination of compliance, it is necessary to update this field each reporting period, as the project progresses. The OEPA has prepared updated guidance (2012a, 2012b, 2012c and 2012d) related to the preparation of compliance audits, including generic expressions that are used to identify the status of each item (Table 2).

Table 2 Action implementation status

Status	Description
Compliant (Conformant)	Implementation of the proposal has been carried out in accordance with requirements of the audit. (Conformant – as above in relation to actions of management plans / programmes).
Completed	A requirement with a finite period of application has been satisfactorily completed.
Not required at this stage	The requirements of the audit element were not triggered during the reporting period.
Potentially non-compliant (Potentially non-conformant)	Possible or likely failure to meet the requirements of the audit element. (Potentially non-conformant – as above in relation to actions of management plans / programmes).
In process	Where an audit element requires a management or monitoring plan be submitted to the OEPA or another government agency for approval, that submission has been made and no further information or changes have been requested by the OEPA or the other government agency and assessment by the OEPA or other government agency for approval is still pending.

Source: Adapted from OEPA (2012b)

## **4. Audit results**

The results of the audit of EPBC 2011/5902 are shown in Table 3. Condition 12 also requires implementation of the PLRP (Lend Lease 2012). The results of the audit of conformance with the management actions contained within the PLRP are outlined in Appendix 1. A total of 62 items were audited from approval EPBC 2011/5902 and the PLRP.

### **4.1 Compliance with conditions**

No potential non-compliances with Conditions of EPBC 2011/5902 (Table 3) were identified during the audit.

#### **4.1.1 Conformance with the Precinct Landscape and Revegetation Plan**

No potential non-conformances with the requirements of the PLRP (Appendix 1) were identified during the audit.



Table 3 Compliance with Conditions of EPBC 2011/5902

Indicator	Requirement	Verification method	Evidence	Comments and recommendations	Status / Compliance finding
<b>EPBC Approval Condition Number 1</b>					
<b>Within 30 days after the commencement of Construction, the person taking the action must advise the Department in writing of the actual date of commencement.</b>					
<b>[Construction commenced: 5 September 2012].</b>					
1.1 Submission of written advice regarding commencement from Lend Lease to DotE (previously DSEWPaC) by 5 October 2012.	Evidence of advice to the Department.	Sighting of the written advice and proof of transmittal.	<i>Alkimos Beach Compliance Report</i> (2011/5902), Lend Lease 2013.	This item has been reported as completed in the 2013 Compliance Report.	Complete.
<b>EPBC Approval Condition Number 2</b>					
<b>The person taking the action must maintain accurate records substantiating all activities associated with or relevant to the conditions of approval, and make them available upon request to the Department. Such records may be subject to audit by the Department or an independent auditor in accordance with section 458 of the EPBC Act, or used to verify compliance with the conditions of approval. Summaries of audits will be posted on the Department's website. The results of audits may also be publicised through the general media.</b>					
2.1.1 Records maintained substantiating all associated or relevant activities.	Evidence of proponent records.	Sighting of all relevant records.	<p>Email correspondence from Lend Lease to DotE discussing submission of the 2013 Compliance Report (131204.Email. Condition 3. Compliance Report Completion),</p> <p><i>Alkimos Beach Compliance Report</i> (2011/5902), Lend Lease 2013.</p> <p><i>Draft Alkimos Beach Precinct Plan</i> (Ref No. DLL ALK; Drawing No. RD1 116 Rev B) Roberts Day, 140812.</p> <p><i>Local Structure Plan No. 72</i> (Amendment No. 04) (Re No. DLL ALK Drawing No. RD1 008 Rev N) Roberts Day.</p> <p>Practical Completion Reports for:</p> <ul style="list-style-type: none"> <li>• Graceful Boulevard and Park A (PC 11/11/2013)</li> <li>• Stage 1 - Park A (PC 11/11/2013)</li> <li>• Stage 1 - Park B (PC 13/12/2013)</li> <li>• Stage 1 - Pectoral Ave (PC 11/02/2014)</li> <li>• Marmion Ave and Entry Softworks (PC 18/02/2014)</li> <li>• Stage 2 - Pectoral Ave (PC 07/03/2014)</li> <li>• Stage 3 &amp; 4 – Pectoral Ave (PC 24/04/2014)</li> </ul> <p>Final Greenstock Reports for:</p> <ul style="list-style-type: none"> <li>• Marmion Avenue &amp; Entry</li> <li>• Stage 1 - Graceful Boulevard</li> <li>• Stage 1 - Park A</li> <li>• Stage 1 - Park B</li> <li>• Stage 1 – Streetscapes</li> <li>• Stage 1 - Pink Species, SIC, LAD 29</li> <li>• Stage 2 - Streetscapes</li> <li>• Stages 3 &amp; 4</li> <li>• Stages 5 &amp; 6 – Streetscapes (Trees).</li> </ul> <p>Email correspondence from Lend Lease to DotE discussing lodgement of the Management Plans required by Condition 10, 11 and 12 of EPBC 2011/5902 (140318. Lodgement Email MPs Cond 10-11-12).</p> <p>Formal correspondence from DotE to Lend Lease relating to approval of management plans required under EPBC 2011/5902 (<i>Urban Development – Lot 1004, 80L Romeo Road and 2611 Marmion Avenue, Alkimos, WA [EPBC 2011/5902]</i>), 8 April 2014.</p> <p>Formal correspondence from Lend Lease to DotE relating to submission, approval and current status of management plans required under EPBC 2011/5902 (<i>Urban Development – Lot 1004, 80 Romeo Road and 2611 Marmion Avenue, Alkimos, WA [EPBC 2011/5902]</i>), 25 July 2014.</p>	Auditors sighted records including correspondence to DotE regarding the Annual Compliance Report and management plans required under EPBC 2011/5902, the 2013 Annual Compliance Report, Practical Completion Reports and Final Greenstock Reports. Based on evidence Lend Lease has provided, the records substantiate implementation of the action.	Compliant.
2.1.2 Records made available to DotE upon request.	Evidence of request and availability.	Sighting of DotE request and proof of availability (e.g. transmittal and/or receipt).	Interview 3/09/2014.	Lend Lease advised that no requests have been made by DotE for provision of records.	Compliant.

Indicator	Requirement	Verification method	Evidence	Comments and recommendations	Status / Compliance finding
<b>EPBC Approval Condition Number 3</b>					
<b>Within three months of every 12 month anniversary of the commencement of the action, the person taking the action must publish a report on their website addressing compliance with each of the conditions of this approval, including implementation of any management plans as specified in the conditions. Documentary evidence providing proof of the date of publication and non-compliance with any of the conditions of this approval must be provided to the Department at the same time as the compliance report is published. Each management plan must be published on the website for the length of the approval.</b>					
3.1.1 Compliance report published on website within three months of every 12 month anniversary of the commencement of the action.	Evidence of publication.	Sighting of report on website.	Alkimos Beach website: <a href="http://www.alkimosbeach.com.au/About-Us/Downloads">http://www.alkimosbeach.com.au/About-Us/Downloads</a> . Email correspondence from Lend Lease to DotE discussing submission of the 2013 Compliance Report (131204. Email. Condition 3. Compliance Report Completion).	The 2013 Annual Compliance Report was available on the Alkimos Beach website at the time of the audit. Correspondence indicates that the report was made publicly available within the three month timeframe.	Compliant.
3.1.2 Report addresses compliance with each of the conditions of this approval.	Report complies with this requirement.	Review report.	<i>Alkimos Beach Compliance Report (2011/5902)</i> , Lend Lease 2013.	The 2013 Annual Compliance Report includes a statement of compliance relevant to each EPBC condition and the three management plans that apply to the Alkimos Beach project.	Compliant.
3.1.3 Report addresses implementation of management plans specified in the conditions of this approval.	Report complies with this requirement.	Review report.	<i>Alkimos Beach Compliance Report (2011/5902)</i> , Lend Lease 2013.	The 2013 Annual Compliance Report includes a statement of compliance relevant to each of the three management plans that apply to the Alkimos Beach project.	Compliant.
3.1.4 Documentary evidence of date of publication provided to DotE at the same time as the compliance report is published.	Correspondent to the Department.	Sighting of correspondence.	Email correspondence from Lend Lease to DotE discussing submission of the 2013 Compliance Report (131204. Email. Condition 3. Compliance Report Completion).	Correspondence indicates that DotE was informed of the publication of the compliance report.	Compliant.
3.1.5 Documentary evidence of noncompliance with any conditions provided to DotE at the same time as the compliance report is published.	Correspondence to the Department.	Sighting of correspondence.	<i>Alkimos Beach Compliance Report (2011/5902)</i> , Lend Lease 2013.	The 2013 Annual Compliance Report includes a statement of compliance relevant to each EPBC Act condition. No potential non-compliances have been recorded or reported.	Compliant.

Indicator	Requirement	Verification method	Evidence	Comments and recommendations	Status / Compliance finding
<b>EPBC Approval Condition Number 4</b>					
<b>If the person taking the action wishes to carry out any activity otherwise than in accordance with the management plans as specified in the conditions, the person taking the action must submit to the Department for the Minister's written approval a revised version of that management plan. The varied activity shall not commence until the Minister has approved the varied management plan in writing. The Minister will not approve a varied management plan unless the revised management plan would result in an equivalent or improved environmental outcome over time. If the Minister approves the revised management plan that management plan must be implemented in place of the management plan originally approved.</b>					
4.1.1 If wishing to carry out any activity otherwise than in accordance with the management plans as specified in the conditions, submit to the Department for the Minister's written approval, as request for revision of the approved plan.	Correspondence to the Department.	Sighting of correspondence.	<p>Interview 3/09/2014.</p> <p>Follow-up audit interview 16/09/2014 (Faron Mengler).</p> <p>Alkimos Beach website: <a href="http://www.alkimosbeach.com.au/About-Us/Downloads">http://www.alkimosbeach.com.au/About-Us/Downloads</a>.</p> <p>Formal correspondence from DotE to Lend Lease relating to approval of management plans required under EPBC 2011/5902 (<i>Urban Development – Lot 1004, 80L Romeo Road and 2611 Marmion Avenue, Alkimos, WA [EPBC 2011/5902]</i>), 8 April 2014.</p> <p>Appendix C of the PLRP includes Stage 1 and 2 Planting Schedules:</p> <ul style="list-style-type: none"> <li>• Stage 1 Streetscape, 25.01.2013</li> <li>• Stage 1 Park A, 25.01.2013</li> <li>• Stage 1 Park B, 25.01.2013</li> <li>• Stage 2 Streetscape, 25.01.2013.</li> </ul> <p>The following 'as constructed' Landscape Planting Plans and associated Final Greenstock Reports were provided as evidence:</p> <ul style="list-style-type: none"> <li>• Entry Works Landscape Planting Plan and Final Greenstock Report (Marmion Avenue Entry Works), 2 April 2014</li> <li>• Precinct 1 – Stage 1 Landscape Planting Plan and Final Greenstock Reports (Stage 1 Streetscapes; Stage 1 – Park A; Stage 1 – Park B; Stage 1 – Graceful Boulevard; Stage 1 – Pink species), 1 July 2013</li> <li>• Precinct 1 – Stage 2 Landscape Planting Plan and Final Greenstock Reports (Stage 2 – Streetscapes), 2 April 2014</li> <li>• Precinct 1 – Stages 3 &amp; 4 Landscape Planting Plan and Final Greenstock Reports (Stages 3 &amp; 4), 2 April 2014</li> </ul> <p>In addition, the following Final Greenstock Reports were provided:</p> <ul style="list-style-type: none"> <li>• Stage 1 – LAD 29</li> <li>• Alkimos Beach 5 &amp; 6 Streetscapes [trees]</li> <li>• Stage 1 – Sales Office</li> <li>• Appendix D of PLRP – <i>Alkimos Beach Precinct Plan</i> (Ref No. DLL ALK, Draw No. RD1 019; Rev. F), 2 September 2013</li> <li>• <i>Alkimos Beach Precinct Plan</i> (Ref No. DLL ALK, Draw No. RD1 116, Rev. B), DRAFT, 12 August 2014</li> <li>• 2013 Annual Compliance Report, Figure 1 Extent of Clearing - <i>Carnaby's Black Cockatoo - Figure</i> (Ref No. DLL ALK, Draw No. RD1 151, Rev. C), DRAFT, 25 January 2013</li> <li>• <i>DRAFT Carnaby's Black Cockatoo - Figure</i> (Ref No. DLL ALK, Draw No. RD1 151, Rev. C), 09 August 2014.</li> </ul>	<p>The version of the PLRP which is available on the Alkimos website is the same version as approved by DotE (Version 3).</p> <p>The format of the Planting Schedule included in the PLRP (Appendix C) was subject to amendments based on requirements of the City of Wanneroo and planting schedules were subsequently amended. There were also minor changes to some of the species included in the PLRP (Appendix C) and revised Planting Schedule.</p> <p>DotE was not made aware of this request from the City of Wanneroo but Lend Lease as the proponent felt this was not an actual change to any 'activity' of the PLRP. Strategen can confirm that amendments to the format of the plant schedules are not considered by the auditors to be a different 'activity' to those identified in the PLRP.</p> <p>Lend Lease advised that an updated Masterplan for Precinct 3 and 4 has been drafted, which would remove 1.8 ha of POS (Park L). As a consequence the precinct by precinct planting targets provided in the PLRP (Table 4 and Appendix D) would require updating for subsequent stages. The Masterplan is currently in draft format and has not yet been approved and implemented.</p> <p>Whilst the proponent confirmed that it will ensure that the overall 50% planting target will not be affected, the auditors recommend that the proponent seek approval of the revised planting targets from DotE for approval prior to implementation as per Condition 4 of EPBC 2011/5902. In addition, the PLRP should be reviewed to include any alterations to the Masterplan and POS provision during the approval process. Lend Lease has advised it intends to contact DotE prior to the submission of this compliance report to address this and any other recommendations detected in this audit as appropriate.</p>	Compliant.
4.1.2 The varied activity shall not commence until the Minister has approved the varied management plan in writing.	Correspondence from the Minister.	Sighting of correspondence.	<p>Interview 3/09/2014.</p> <p>Refer to Table 2.</p>	The version of the PLRP which is being utilised by Lend Lease is the approved version. Changes to any activities undertaken as a result of an amended Masterplan would be submitted to DotE for approval.	Compliant.
4.1.3 If the Minister approves the revised management plan that management plan must be implemented in place of the management plan originally approved.	Verify conformance with approved revised management plan(s).	Sighting of evidence verifying implementation of management plans.	<p>Interview 3/09/2014.</p> <p>Refer to table 2.</p>	The version of the PLRP which is being utilised by Lend Lease is the approved version. Changes to any activities as a result of an amended Masterplan would be submitted to DotE for approval.	Compliant.
<b>EPBC Approval Condition Number 5</b>					
<b>If the Minister believes that it is necessary or convenient for the better protection of Listed threatened species and communities (sections 18 and 18A) to do so, the Minister may request that the person taking the action make specified revisions to the management plan specified in the conditions and submit the revised management plan for the Minister's written approval. The person taking the action must comply with any such request. The revised approved management plan must be implemented. Unless the Minister has approved the revised management plan then the person taking the action must continue to implement the management plan originally approved, as specified in the conditions.</b>					
5.1.1 Management plans revised as specified upon Minister's request.	Correspondence from the Minister.	Sight correspondence from the Minister.	Interview 3/9/2014.	No request has been received from the Minister for any management plans to be updated.	Compliant.

Indicator	Requirement	Verification method	Evidence	Comments and recommendations	Status / Compliance finding
5.1.2 Revised management plan submitted for Minister's written approval.	Correspondence to the Department.	Sight correspondence to the Department.	N/A.	Not audited.	Not audited.
5.1.3 Implement the revised approved plan.	Verify implementation of revised approved management plans.	Sight records to confirm implementation of the revised approved management plan.	N/A.	Not audited.	Not audited.
5.1.4 Originally approved management plan implemented.	Verify implementation of originally approved management plans.	Sight records to confirm implementation of the management plan.	N/A.	Not audited.	Not audited.
<b>EPBC Approval Condition Number 6</b>					
<b>If, at any time after five years from the date of this approval, the person taking the action has not substantially commenced the action, then the person taking the action must not substantially commence the action without the written agreement of the Minister.</b>					
<b>[Approval date: 30 June 2012].</b>					
6.1 If, at any time after five years from the date of this approval, the person taking the action has not substantially commenced the action, then the person taking the action must not substantially commence the action without the written agreement of the Minister.	Correspondence from the Minister.	Sight correspondence from the Minister.	Lend Lease 2013, Alkimos Beach Compliance Report (2011/5902).	This item has been reported as completed in the 2013 Compliance Report.	Completed.
<b>EPBC Approval Condition Number 7</b>					
<b>Unless otherwise agreed to in writing by the Minister, the person taking the action must publish all management plans referred to in their conditions of approval on their website. Each management plan must be published on the website within 1 month of being approved and must remain on the website for the life of the project.</b>					
7.1 Approved management plans published on website of person taking the action within 1 month of being approved.	Verify approved plans are published on website.	Sight approved plans on the website.	Formal correspondence from DotE to Lend Lease relating to approval of management plans required under EPBC 2011/5902 ( <i>Urban Development – Lot 1004, 80L Romeo Road and 2611 Marmion Avenue, Alkimos, WA [EPBC 2011/5902]</i> ), 8 April 2014. Alkimos Beach website <a href="http://www.alkimosbeach.com.au/About-Us/Downloads">http://www.alkimosbeach.com.au/About-Us/Downloads</a> .  <i>Alkimos Beach Compliance Report (2011/5902)</i> , Lend Lease 2013.	Correspondence dated 8 April 2014 provides a record of approval for the revised versions of the Conservation Area Management Plan (Rev 1); the Foreshore Management Plan (Rev 3) and the Precinct Landscaping and Revegetation Management Plan (Version 1). The approved versions of each management plan were available at the time of the audit from the Alkimos Beach website. The 2013 Compliance Report indicates that the three management plans were available on the website in November 2013; prior to approval of the revised plans.	Compliant.
<b>EPBC Approval Condition Number 8</b>					
<b>The person taking the action must not clear more than 21.1 ha of Carnaby's Black Cockatoo foraging habitat from Lot 1004, 80L Romero Road and 2611 Marmion Avenue, Alkimos, Western Australia.</b>					
8.1.1 No more than 21.1 ha of Carnaby's Black Cockatoo foraging habitat cleared (as per proposal).	Clearing records. Clearing contractor records.		<i>DRAFT Carnaby's Black Cockatoo – Figure</i> (Ref No. DLL ALK, Draw No. RD1 051, Rev C), 131125. <i>DRAFT Carnaby's Black Cockatoo – Figure</i> (Ref No. DLL ALK, Draw No. RD1 051, Rev C), 140809.	The auditor's sighted figures show clearing extent and no additional clearing outside of Carnaby's Cockatoo foraging habitat identified in areas to be retained (0.14 ha). Records substantiating the areas cleared (e.g. surveyor's as-constructed reporting) would be beneficial to more accurately assess this item.	Compliant.
<b>EPBC Approval Condition Number 10</b>					
<b>To protect habitat for listed threatened species, the person taking the action must prepare and submit a Conservation Area Management Plan (CAMP) detailing management of POS (designated Conservation POS at Attachment A), for the approval by the Minister. The CAMP must include:</b>					
<ul style="list-style-type: none"> <li>a) At least 2 ha of Carnaby's Black-Cockatoo foraging habitat to be retained and rehabilitated in POS on the project area, as shown in Attachment A, to be managed for habitat recovery, protection and conservation;</li> <li>b) Details of supplementary planting equivalent to at least 1 ha of Carnaby's Black-Cockatoo foraging habitat on the project area (to be spread across conservation POS and ROS), including timeframes and survival targets proposed for plantings;</li> <li>c) Measures to manage weeds and feral pests;</li> <li>d) Bushfire prevention and management measures;</li> <li>e) Erosion control measures;</li> <li>f) Access management (including boardwalks, pathways, signage and fencing);</li> <li>g) Performance indicators and corrective measures;</li> <li>h) Monitoring and reporting measures;</li> <li>i) Roles and responsibilities of contractors, staging and the person taking the action; and</li> <li>j) Time frames for the implementation and management of the above measures</li> </ul>					
<b>The CAMP must be submitted to the Department within 12 months of the date of approval. If the Minister approves the CAMP, the approved plans must be implemented. No construction can commence in the area shown as the No Clearing area on Attachment C until the CAMP is approved by the Minister.</b>					
<b>[Approval Date: 30 June 2012].</b>					

Indicator	Requirement	Verification method	Evidence	Comments and recommendations	Status / Compliance finding
<p><b>EPBC Approval Condition Number 11</b>                      To protect habitat for listed threatened species, the person taking the action must prepare and submit a Foreshore Management Plan (FMP) detailing management of ROS on the project area (designated Regional Parks and Recreation at Attachment A), for approval by the Minister. The FMP must include:</p> <p>(a) Details of supplementary planting equivalent to at least 1 ha of Carnaby's Black-Cockatoo foraging habitat on the project area (to be spread across conservation POS and ROS), including timeframes and survival targets proposed for plantings;                      (b) Details of funding to be provided for long-term conservation management of ROS and details of the entity who will be responsible for management of ROS;                      (c) Measures to manage weeds and feral pests;                      (d) Bushfire prevention and management measures;                      (e) Erosion control measures;                      (f) Access management (including visitor facilities, boardwalks, pathways, signage and fencing);                      (g) Performance indicators and corrective measures;                      (h) Monitoring and reporting measures;                      (i) Roles and responsibilities of contractors, staging and the person taking the action; and                      (j) Time frames for the implementation and management of the above measures.</p> <p>The FMP must be submitted to the Department within 12 months of the date of approval. If the Minister approves the FMP, the approved plans must be implemented. No construction can commence in the area shown as the No Clearing area on Attachment C until the FMP is approved by the Minister.                      [Approval Date: 30 June 2012].</p>					<p>Compliant.                      A FMP has been prepared and submitted and was approved 8 April 2014.                      Implementation of the plan is yet to commence as the relevant foreshore area is not within or adjacent to the current area of works. This 2014 audit has not addressed implementation of the FMP for this reason.</p>
<p><b>EPBC Approval Condition Number 12</b>                      To protect habitat for listed threatened species the person taking the action must prepare and submit a Precinct Landscape and Revegetation Plan (PLRP) for the project area, for approval by the Minister. The PLRP must include:</p> <p>(a) Measures to establish the equivalent of at least 5 ha of Carnaby's Black-Cockatoo habitat on the project area, through streetscape and landscape planting;                      (b) At least 50% of plantings of trees and shrubs in streetscape and landscape planting must consist of plant species known to be primary feeding plants for Carnaby's Black-Cockatoo;                      (c) Timeframes and survival targets proposed for plantings;                      (d) Contingency measures if survival targets are not achieved;                      (e) Monitoring and reporting measures;                      (f) Roles and responsibilities of contractors, staff and the person taking the action; and                      (g) Timeframes for the implementation and the management of the above measures.</p> <p>The PLRP must be submitted to the Department within 12 months of the date of approval. If the Minister approves the PLRP, the approved plans must be implemented. No construction can commence in the area shown as the No Clearing area on Attachment C until the PLRP is approved by the Minister.                      [Approval Date: 30 June 2012].</p>					<p>Compliant (implementation).                      Refer to Appendix 1.                      This audit found that of the 19 key actions identified within the PLRP:</p> <ul style="list-style-type: none"> <li>• 12 were conformant</li> <li>• 6 were not applicable at time of audit</li> <li>• 1 was not audited.</li> </ul>
<p><b>Criterion 1</b>                      To protect habitat for listed threatened species the person taking the action must prepare and submit a Precinct Landscape and Revegetation Plan (PLRP) for the project area, for approval by the Minister.</p>					
12.1.1 Precinct Landscape and Revegetation Plan (PLRP) prepared.	Prepare PLRP.	Review plan.	<p><i>Alkimos Beach Compliance Report (2011/5902), Lend Lease 2013.</i>                      Email correspondence from Lend Lease to DotE discussed lodgement of the Management Plans required by Condition 10, 11 and 12 of EPBC 2011/5902 (140318. Lodgement Email MPs Cond 10-11-12).                      Formal correspondence from DotE to Lend Lease relating to approval of management plans required under EPBC 2011/5902 (Urban Development – Lot 1004, 80L Romeo Road and 2611 Marmion Avenue, Alkimos, WA [EPBC 2011/5902]), 8 April 2014.</p>	<p>This requirement has been previously assessed as compliant.                      Correspondence provides approval for the submitted versions of the Conservation Area Management Plan (Rev 1); the Foreshore Management Plan (Rev 3) and the Precinct Landscaping and Revegetation Management Plan (Version 1).</p>	Compliant.
12.1.2 The PLRP must be submitted for approval by the Minister.	Submit PLRP.	Sight correspondence to the Minister.	<p><i>Alkimos Beach Compliance Report (2011/5902), Lend Lease 2013.</i>                      Formal correspondence from DotE to Lend Lease relating to approval of management plans required under EPBC 2011/5902 (Urban Development – Lot 1004, 80L Romeo Road and 2611 Marmion Avenue, Alkimos, WA [EPBC 2011/5902]), 8 April 2014.</p>	<p>This requirement has been previously assessed as compliant.                      Correspondence provides approval for the submitted versions of the Conservation Area Management Plan (Rev 1); the Foreshore Management Plan (Rev 3) and the Precinct Landscaping and Revegetation Management Plan (Version 1).</p>	Compliant.
<p><b>Criterion 2</b>                      Measures to establish the equivalent of at least 5 ha of Carnaby's Black-Cockatoo habitat on the project area, through streetscape and landscape planting.</p>					
12.2.1 PLRP includes measures to establish the equivalent of at least 5 ha of Carnaby's Black-Cockatoo habitat on the project area, through streetscape and landscape planting.	PLRP includes this requirement.	Evaluate plan.	<p><i>Alkimos Beach Compliance Report (2011/5902), Lend Lease 2013.</i></p>	<p>This requirement has been previously assessed as compliant.                      Refer to Appendix 1.</p>	Compliant.
12.3.1 PLRP includes provision for at least 50% of plantings of trees and shrubs in streetscape and landscape planting to consist of plant species known to be primary feeding plants for Carnaby's Black-Cockatoo.	PLRP includes this requirement.	Evaluate plan.	<p><i>Alkimos Beach Compliance Report (2011/5902), Lend Lease 2013.</i></p>	<p>This requirement has been previously assessed as compliant.                      Refer to Appendix 1.</p>	Compliant.

Indicator	Requirement	Verification method	Evidence	Comments and recommendations	Status / Compliance finding
<b>Criterion 4</b>					
<b>Timeframes and survival targets proposed for plantings.</b>					
12.4.1 PLRP includes Timeframes and survival targets proposed for plantings.	PLRP includes this requirement.	Evaluate plan.	<i>Alkimos Beach Compliance Report (2011/5902), Lend Lease 2013.</i>	This requirement has been previously assessed as compliant. Refer to Appendix 1.	Compliant.
<b>Criterion 5</b>					
<b>Contingency measures if survival targets are not achieved.</b>					
12.5.1 PLRP includes contingency measures if survival targets are not achieved.	PLRP includes this requirement.	Evaluate plan.	<i>Alkimos Beach Compliance Report (2011/5902), Lend Lease 2013.</i>	This requirement has been previously assessed as compliant. Refer to Appendix 1.	Compliant.
<b>Criterion 6</b>					
<b>Monitoring and reporting measures.</b>					
12.6.1 Monitoring and reporting measures are included in the PLRP.	PLRP includes this requirement.	Evaluate plan.	<i>Alkimos Beach Compliance Report (2011/5902), Lend Lease 2013.</i>	This requirement has been previously assessed as compliant. Refer to Appendix 1.	Compliant.
<b>Criterion 7</b>					
<b>Roles and responsibilities of contractors, staff and the person taking the action.</b>					
12.7.1 Roles and responsibilities of contractors.	PLRP includes this requirement.	Evaluate plan.	<i>Alkimos Beach Compliance Report (2011/5902), Lend Lease 2013.</i>	This requirement has been previously assessed as compliant. Refer to Appendix 1.	Compliant.
12.7.2 Roles and responsibilities of staff.	PLRP includes this requirement.	Evaluate plan.	<i>Alkimos Beach Compliance Report (2011/5902), Lend Lease 2013.</i>	This requirement has been previously assessed as compliant. Refer to Appendix 1.	Compliant.
12.7.3 Roles and responsibilities of the person taking the action.	PLRP includes this requirement.	Evaluate plan.	<i>Alkimos Beach Compliance Report (2011/5902), Lend Lease 2013.</i>	This requirement has been previously assessed as compliant. Refer to Appendix 1.	Compliant.
<b>Criterion 8</b>					
<b>Timeframes for the implementation and the management of the above measures.</b>					
12.8.1 Time frames for the implementation and management of the above measures.	PLRP includes this requirement.	Evaluate plan.	<i>Alkimos Beach Compliance Report (2011/5902), Lend Lease 2013.</i>	This requirement has been previously assessed as compliant. Refer to Appendix 1.	Compliant.
<b>Criterion 9</b>					
<b>The PLRP must be submitted to the Department within 12 months of the date of approval.</b>					
12.9.1 PLRP must be submitted for approval by the Minister within 12 months of the date of approval.	Submit PLRP.	Sight correspondence to the Minister.	<i>Alkimos Beach Compliance Report (2011/5902), Lend Lease 2013.</i> Email correspondence from Lend Lease to DotE discussed lodgement of the Management Plans required by Condition 10, 11 and 12 of EPBC 2011/5902 (140318. Lodgement Email MPs Cond 10-11-12). Formal correspondence from DotE to Lend Lease relating to approval of management plans required under EPBC 2011/5902 (Urban Development – Lot 1004, 80L Romeo Road and 2611 Marmion Avenue, Alkimos, WA [EPBC 2011/5902]), 8 April 2014.	This requirement was indicated to have been previously found compliant. There is no further action to assess during the audit period.	Completed.
<b>Criterion 10</b>					
<b>The approved plans must be implemented.</b>					
12.10.1 PLRP implemented as approved.	Verify conformance with the PLRP.	Sight records confirming implementation of the PLRP.	Refer to Table 2.	This requirement has been previously assessed as compliant. Refer to Appendix 1.	Refer to Appendix 1.

Indicator	Requirement	Verification method	Evidence	Comments and recommendations	Status / Compliance finding
<b>Criterion 11</b>					
<b>No construction can commence in the area shown as the No Clearing area on Attachment C until the PLRP is approved by the Minister.</b>					
12.11.1 No construction can commence in the area shown as the No Clearing area on Attachment C until the FMP is approved by the Minister.	Check construction records to confirm no construction prior to approval.	Sight construction records.	<p>Interview and site inspection 3/9/2014.</p> <p><i>DRAFT Carnaby's Black Cockatoo – Figure</i> (Ref No. DLL ALK, Draw No. RD1 051, Rev C), 131125.</p> <p><i>DRAFT Carnaby's Black Cockatoo – Figure</i> (Ref No. DLL ALK, Draw No. RD1 051, Rev C), 140809.</p> <p>Email correspondence from Lend Lease to DotE discussed lodgement of the Management Plans required by Condition 10, 11 and 12 of EPBC 2011/5902 (140318. <i>Lodgement Email MPs Cond 10-11-12</i>).</p> <p>Formal correspondence from DotE to Lend Lease relating to approval of management plans required under EPBC 2011/5902 (<i>Urban Development – Lot 1004, 80L Romeo Road and 2611 Marmion Avenue, Alkimos, WA [EPBC 2011/5902]</i>), 8 April 2014.</p> <p>Email correspondence from DotE to Lend Lease relating to removal of 'No Clearing Area' (<i>FW: Alkimos – Environment – Re-lodgement of plans for Conditions 10-12 – EPBC 2011/5902</i>), 11 April 2014.</p> <p>Formal correspondence from Lend Lease to DotE relating to submission, approval and current status of management plans required under EPBC 2011/5902 (<i>Urban Development – Lot 1004, 80 Romeo Road and 2611 Marmion Avenue, Alkimos, WA [EPBC 2011/5902]</i>), 25 July 2014.</p> <p>Plate 6 shows double fence line into the 'No Clearing Area' and Regional Open Space areas.</p>	<p>Correspondence includes approval for the submitted versions of the Conservation Area Management Plan (Rev 1); the Foreshore Management Plan (Rev 3) and the Precinct Landscaping and Revegetation Management Plan (Version 1).</p> <p>Figures show that no clearing appears to have occurred in the 'No Clearing Area' to date.</p> <p>Additional records substantiating the areas cleared would be beneficial to more accurately assess this criterion.</p> <p>Correspondence from DotE to Lend Lease confirms that the 'No Clearing' area of Attachment C is no longer restricted; however, Lend Lease should inform DotE when clearing in this area is proposed.</p>	Compliant.
<b>EPBC Approval Condition Number 13</b>					
<b>To offset the loss of habitat for Carnaby's Black-Cockatoo, the person taking the action must, within 12 months of the commencement of construction, provide funds to WA DEC for the acquisition, and a contribution to management of the offset described in Alkimos Lot 1004 Residential Development Mitigation and Offsets Strategy for Matters of National Environmental Significance (Eco Logical Australia, January 2012). The offset land must be at least 126 ha of freehold land in the Gingin area and contain vegetation that has equivalent or better foraging habitat for Carnaby's Black-Cockatoo, including Banksia woodland/shrubland. Within 4 weeks of the funding being provided to the WA DEC, the person taking the action must provide written evidence to the Department of the payment.</b>					
<b>[Construction commenced: 5 September 2012].</b>					
<b>Criterion 1</b>					
<b>To offset the loss of habitat for Carnaby's Black-Cockatoo, the person taking the action must, within 12 months of the commencement of construction, provide funds to WA DEC for the acquisition, and a contribution to management of the offset described in Alkimos Lot 1004 Residential Development Mitigation and Offsets Strategy for Matters of National Environmental Significance (Eco Logical Australia, January 2012).</b>					
13.1.1 Within 12 months of commencement of construction, provide funds to the WA DEC for the acquisition of the offset described in Alkimos Lot 1004 Residential Development Mitigation and Offsets Strategy for Matters of National Environmental Significance (Eco Logical Australia, January 2012).	Provide funds to the WA DEC.	Sight payment records.	<i>Alkimos Beach Compliance Report</i> (2011/5902), Lend Lease 2013.	This requirement has been previously assessed as complete.	Completed.
13.1.2 Within 12 months of commencement of construction, provide funds to the WA DEC for a contribution to management of the offset described in Alkimos Lot 1004 Residential Development Mitigation and Offsets Strategy for Matters of National Environmental Significance (Eco Logical Australia, January 2012)	Provide funds to the WA DEC.	Sight payment records.	<i>Alkimos Beach Compliance Report</i> (2011/5902), Lend Lease 2013.	This requirement has been previously assessed as complete.	Completed.
<b>Criteria 2</b>					
<b>The offset land must be at least 126 ha of freehold land in the Gingin area and contain vegetation that has equivalent or better foraging habitat for Carnaby's Black-Cockatoo, including Banksia woodland/shrubland.</b>					
13.2.1 The offset land must be at least 126 ha of freehold land in the Gingin area.	Land description.	Check land description.	<i>Alkimos Beach Compliance Report</i> (2011/5902), Lend Lease 2013.	This requirement has been previously assessed as complete.	Completed.
13.2.2 The offset land must contain vegetation that has equivalent or better foraging habitat for Carnaby's Black-Cockatoo, including Banksia woodland/shrubland.	Vegetation assessment of the offset.	Check the vegetation assessment.	<i>Alkimos Beach Compliance Report</i> (2011/5902), Lend Lease 2013.	This requirement has been previously assessed as complete.	Completed.
<b>Criteria 3</b>					
<b>Within 4 weeks of the funding being provided to the WA DEC, the person taking the action must provide written evidence to the Department of the payment.</b>					
13.3.1 Within 4 weeks of the funding (for the acquisition of the offset) being provided to the WA DEC Provide written evidence to the Department of the payment	Correspondence to the Department.	Sight correspondence to the Department.	<i>Alkimos Beach Compliance Report</i> (2011/5902), Lend Lease 2013.	This requirement has been previously assessed as complete.	Completed.
13.3.2 Within 4 weeks of the funding (for a contribution to management of the offset) being provided to the WA DEC Provide written evidence to the Department of the payment.	Correspondence to the Department.	Sight correspondence to the Department.	<i>Alkimos Beach Compliance Report</i> (2011/5902), Lend Lease 2013.	This requirement has been previously assessed as complete.	Completed.

Indicator	Requirement	Verification method	Evidence	Comments and recommendations	Status / Compliance finding
<b>EPBC Approval Condition Number 14</b>					
Within 12 months of the commencement of construction, the person taking the action must provide to the Department with a description and map clearly defining the location and boundaries of the offset property described at Condition 13, which must be accompanied with the offset attributes and a shapefile. [Construction commenced: 5 September 2012].					
<b>Criterion 1</b>					
Within 12 months of the commencement of construction, the person taking the action must provide to the Department with a description and map clearly defining the location and boundaries of the offset property described at Condition 13, which must be accompanied with the offset attributes and a shapefile.					
14.1.1 Within 12 months of the commencement of construction, the person taking the action must provide to the Department with a description and map clearly defining the location and boundaries of the offset property described at Condition 13.	Provide a description and map clearly defining the location and boundaries of the offset property to the Department.	Sight correspondence to the Department.	<i>Alkimos Beach Compliance Report (2011/5902)</i> , Lend Lease 2013.	This requirement has been previously assessed as complete.	Completed.
14.1.2 Accompanied with the offset attributes and a shapefile.	Provide offset attributes and a shapefile to the Department.	Sight correspondence to the Department.	<i>Alkimos Beach Compliance Report (2011/5902)</i> , Lend Lease 2013.	This requirement has been previously assessed as complete.	Completed.

\*Following variations to the EPBC Approval there is now no Condition Number 9



## 5. Audit conclusions and recommendations for improvement

### 5.1 EPBC 2011/5902

From the site inspection, interviews and review of documentation provided by Lend Lease, AECOM and LD Total, the Auditors concluded that all audited conditions of EPBC 2011/5902 were implemented satisfactorily during the audit period. The Auditors recommended the following be undertaken:

1. Records substantiating the areas cleared (e.g. surveyor's as-constructed reporting) would be beneficial to more accurately assess this item.
2. Lend Lease should inform DotE when clearing is proposed within the 'No Clearing Area' identified in Attachment C of EPBC 2011/5902.

### 5.2 Performance of the Precinct Landscape and Revegetation Plan

From the site inspection, interviews and review of documentation provided by Lend Lease, AECOM and LD Total, the Auditors concluded that the PLRP required by Condition 12 of EPBC 2011/5902 was satisfactorily implemented during the audit period. No updates or modifications to the plan were made during the audit period. The Auditors recommended the following be undertaken:

1. The PLRP is reviewed to include any alterations to the Masterplan and POS to ensure any aspects no longer required are removed and/or any required additions to the plan are included.
2. Pending any review, amendment and approval of the PLRP (which may amend or otherwise address this requirement) the auditors recommend that future Annual Compliance Reports include updated tracking against tree targets to substantiate current progress.
3. Removing references to specific contractors in the PLRP.
4. Lend Lease should inform DotE when clearing is proposed within the 'No Clearing Area' identified in Attachment C of EPBC 2011/5902.
5. Lend Lease is required to provide an update of completed or tendered landscape for future stages, report against planting targets and report against survival targets. The Auditors recommend that this requirement is reviewed as part of any revisions to the PLRP.

## 6. References

Lend Lease 2012, Precinct Landscape and Revegetation Plan – prepared for Precinct 1 at Alkimos Beach as required by Condition 12 of Approval (EPBC 2012/5902), 2012.

Office of Environmental Protection Authority (OEPA) 2012a, *Post Assessment Guideline for Preparing a Compliance Assessment Plan*, OEPA, Perth, August 2012.

Office of Environmental Protection Authority (OEPA) 2012b, *Post Assessment Guideline for Preparing an Audit Table*, OEPA, Perth, August 2012.

Office of Environmental Protection Authority (OEPA) 2012c, *Post Assessment Guideline for Making Information Publically Available*, OEPA, Perth, August 2012.

Office of Environmental Protection Authority (OEPA) 2012d, *Post Assessment Guideline for Preparing a Compliance Assessment Report*, OEPA, Perth, August 2012.

**Appendix 1**  
**Compliance with Condition 12 of EPBC**  
**2011/5902 (Precinct Landscape and**  
**Revegetation Plan)**



Table A 1 Compliance with conditions – Precinct Landscape and Revegetation Plan

Audit Code	Action	How	Evidence	Comment	Phase	When	Status
PLRP 1	<p>Condition 12 (a) of the above approval relates to replicating greater than 5 ha of Carnaby's Black Cockatoo habitat through planned future landscape and streetscape across the development. DotE and Lend Lease determined the approach to meet this requirement during the finalisation of the approval for the project in May / June 2012. It was determined that this requirement specifically relates to established trees list on the DEC Plants for Carnaby's list using the ratio as follows:</p> <ul style="list-style-type: none"> <li>- 500 trees: 1 ha of habitat</li> </ul> <p>Therefore in order to replicate greater than 5 ha of Carnaby's Black Cockatoo habitat, <b>the following ratio will be applied:</b></p> <ul style="list-style-type: none"> <li>- <b>2500 trees: 5 ha of habitat</b></li> </ul>	<p>Delineate area to be revegetated in accordance with Precinct and Staging Plans.</p> <p>Determine number and types (species) of trees to be used in revegetation based on area requiring revegetation (ha).</p> <p>Inspect site.</p>	<p>Alkimos Beach – Estate Precinct Landscape and Revegetation Plan: Trees for Carnaby's Cockatoo – Tracking Spreadsheet (September 2014).</p> <p>Stage 1 and Stage 2 species list (23 April 2013).</p> <p>Interview 3/9/2014.</p>	<p>The target of 2500 trees is detailed in the PLRP in Table 2.</p> <p>Auditors reviewed the Stage 1 and Stage 2 species list and the Trees for Carnaby's Cockatoo Spreadsheet which tracks the current progress against targets applied to landscaping areas. This includes the project target of 2500 trees.</p> <p>48% of the trees planted to date in Precinct 1 are Carnaby's Black Cockatoo species (555 trees), which relates to 37% of the Precinct 1 target for Carnaby's Black Cockatoo species; therefore another 13% is required to meet the 50% target for the precinct (1,500 trees). Although under the final target it is anticipated that Lend Lease will be able to meet the target at completion.</p> <p>Lend Lease advised that a draft updated Masterplan has been created, which proposes to remove 1.8 ha of POS (Park L).</p> <p>Auditors recommend that the PLRP be reviewed to include any alterations to the Masterplan and POS provision, and the allocation of trees to meet the tree target of 2500, during the approval process.</p>	Revegetation	Revegetation - during revegetation	Conformant

Audit Code	Action	How	Evidence	Comment	Phase	When	Status																			
PLRP 2	<p>Table 2 provides a Precinct by Precinct breakdown of the Carnaby's tree targets (refer to Appendix D for map). These targets will be delivered as part of the detailed design of parks and streetscapes in each precinct.</p> <p>Table 2: Precinct breakdown of Carnaby tree targets</p> <table border="1"> <thead> <tr> <th>Precinct</th> <th>Area (ha)</th> <th>Carnaby Tree Target</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>49.67</td> <td>1500</td> </tr> <tr> <td>2</td> <td>50.72</td> <td>500</td> </tr> <tr> <td>3</td> <td>49.64</td> <td>500</td> </tr> <tr> <td>4</td> <td>33.19</td> <td>500</td> </tr> <tr> <td><b>TOTAL</b></td> <td><b>2500 or 5 ha of habitat</b></td> <td></td> </tr> </tbody> </table>	Precinct	Area (ha)	Carnaby Tree Target	1	49.67	1500	2	50.72	500	3	49.64	500	4	33.19	500	<b>TOTAL</b>	<b>2500 or 5 ha of habitat</b>		<p>Delineate area to be revegetated in accordance with Precinct and Staging Plans.</p> <p>Determine number and types (species) of trees to be used in revegetation based on area requiring revegetation (ha).</p>	<p>Appendix D of PLRLP – <i>Alkimos Beach Precinct Plan</i> (Ref No. DLL ALK, Draw No. RD1 019; Rev. F), 2 September 2013.</p> <p><i>Alkimos Beach Precinct Plan</i> (Ref No. DLL ALK, Draw No. RD1 116, Rev. B), 12 August 2014.</p> <p>Alkimos Beach – Estate Precinct Landscape and Revegetation Plan: Trees for Carnaby's Cockatoo – Tracking Spreadsheet (September 2014).</p> <p>Practical Completion Certificates:</p> <ul style="list-style-type: none"> <li>Graceful Boulevard and Park A (PC 11/11/2013)</li> <li>Stage 1 - Park A (PC 11/11/2013)</li> <li>Stage 1 - Park B (PC 13/12/2013)</li> <li>Stage 1 - Pectoral Ave (PC 11/02/2014)</li> <li>Marmion Ave and Entry Softworks (PC 18/02/2014)</li> <li>Stage 2 - Pectoral Ave (PC 07/03/2014)</li> <li>Stage 3 &amp; 4 – Pectoral Ave (PC 24/04/2014).</li> </ul> <p>The following 'as constructed' Landscape Planting Plans and associated Final Greenstock Reports were provided as evidence:</p> <ul style="list-style-type: none"> <li>Entry Works Landscape Planting Plan and Final Greenstock Report (Marmion Avenue Entry Works), 2 April 2014</li> <li>Precinct 1 – Stage 1 Landscape Planting Plan and Final Greenstock Reports (Stage 1 Streetscapes; Stage 1 – Park A; Stage 1 – Park B; Stage 1 – Graceful Boulevard; Stage 1 – Pink species), 1 July 2013</li> <li>Precinct 1 – Stage 2 Landscape Planting Plan and Final Greenstock Reports (Stage 2 – Streetscapes), 2 April 2014</li> <li>Precinct 1 – Stages 3 &amp; 4 Landscape Planting Plan and Final Greenstock Reports (Stages 3 &amp; 4), 2 April 2014.</li> </ul> <p>In addition, the following Final Greenstock Reports were provided:</p> <ul style="list-style-type: none"> <li>Stage 1 – LAD 29</li> <li>Alkimos Beach 5 &amp; 6 Streetscapes [trees]</li> <li>Stage 1 – Sales Office.</li> </ul>	<p>Auditors reviewed the Stage 1 and Stage 2 species list and the Trees for Carnaby's Cockatoo Spreadsheet which tracks the current progress against targets applied to landscaping areas. This includes the project target of 2,500 trees.</p> <p>48% of the trees planted to date in Precinct 1 are Carnaby's Black Cockatoo species (555 trees), which relates to 37% of the Precinct 1 target for Carnaby's Black Cockatoo species; therefore another 13% is required to meet the 50% target for the precinct (1,500 trees).</p> <p>Auditors further reviewed the Practical Completion Certificates and Final Greenstock Reports available for Stage 1 in conjunction with the Trees for Carnaby's Cockatoo Spreadsheet.</p>	Revegetation	Revegetation - during planning	Conformant	The target has not been met; however, Lend Lease has yet to complete landscaping and is on track to meet the target at completion
Precinct	Area (ha)	Carnaby Tree Target																								
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4	33.19	500																								
<b>TOTAL</b>	<b>2500 or 5 ha of habitat</b>																									

Audit Code	Action	How	Evidence	Comment	Phase	When	Status
PLRP 3	For each stage of the development a Plant Schedule is prepared.	Prepare a Plant Schedule which meets the Carnaby's Cockatoo Tree Target identified in Table 2, for each stage of the development.	<p>The following Plant schedules for future stages have been provided as evidence:</p> <ul style="list-style-type: none"> <li>• Park B2 &amp; C (60238806-PARKB2&amp;C-LA-DRG-CD-0003)</li> <li>• Stage 5 &amp; 6 – Main Streetscape (60238806-ST5&amp;6-LA-DRG-CD-0003)</li> <li>• Graceful Boulevard and Park F (60238806-ST7-LA-DRG-CD-0003).</li> </ul> <p>The following 'as constructed' Landscape Planting Plans and associated Final Greenstock Reports were provided as evidence:</p> <ul style="list-style-type: none"> <li>• Entry Works Landscape Planting Plan and Final Greenstock Report (Marmion Avenue Entry Works), 2 April 2014</li> <li>• Precinct 1 – Stage 1 Landscape Planting Plan and Final Greenstock Reports (Stage 1 Streetscapes; Stage 1 – Park A; Stage 1 – Park B; Stage 1 – Graceful Boulevard; Stage 1 – Pink species), 1 July 2013</li> <li>• Precinct 1 – Stage 2 Landscape Planting Plan and Final Greenstock Reports (Stage 2 – Streetscapes), 2 April 2014</li> <li>• Precinct 1 – Stages 3 &amp; 4 Landscape Planting Plan and Final Greenstock Reports (Stages 3 &amp; 4), 2 April 2014.</li> </ul> <p>In addition, the following Final Greenstock Reports were provided:</p> <ul style="list-style-type: none"> <li>• Stage 1 – LAD 29</li> <li>• Alkimos Beach 5 &amp; 6 Streetscapes [trees]</li> <li>• Stage 1 – Sales Office.</li> </ul>	<p>Plant Schedules for Stages 1 and 2 were included in the PLRP.</p> <p>Not all species identified in the Plant Schedules in the PLRP were planted due to requirements of the City of Wanneroo.</p> <p>Plant Schedules for future stages have been prepared.</p>	Construction	Construction	Conformant

Audit Code	Action	How	Evidence	Comment	Phase	When	Status
PLRP 4	As the project is only in the preliminary stages of construction, only the planting schedule for the first two stages is available. Future Plant Schedules will be supplied annually as part of the Annual Compliance Report to track the progress against the tree targets.	<p>Ensure that planting in the first two stages is in line with the Plant Schedules and staging plan in Appendix C.</p> <p>Include future plant schedules which track the progress against Carnaby's Tree Targets (detailed in Table 2) in the Annual Compliance Report.</p>	<p>Appendix D of PLRLP – <i>Alkimos Beach Precinct Plan</i> (Ref No. DLL ALK, Draw No. RD1 019; Rev. F), 2 September 2013.</p> <p><i>Alkimos Beach Precinct Plan</i> (Ref No. DLL ALK, Draw No. RD1 116, Rev. B), 12 August 2014.</p> <p><i>Alkimos Beach Compliance Report</i> (2011/5902), Lend Lease 2013.</p> <p>The following Plant schedules for future stages have been provided as evidence:</p> <ul style="list-style-type: none"> <li>• Park B2 &amp; C (60238806-PARKB2&amp;C-LA-DRG-CD-0003)</li> <li>• Stage 5 &amp; 6 – Main Streetscape (60238806-ST5&amp;6-LA-DRG-CD-0003)</li> <li>• Graceful Boulevard and Park F (60238806-ST7-LA-DRG-CD-0003).</li> </ul> <p>The following 'as constructed' Landscape Planting Plans and associated Final Greenstock Reports were provided as evidence:</p> <ul style="list-style-type: none"> <li>• Entry Works Landscape Planting Plan and Final Greenstock Report (Marmion Avenue Entry Works), 2 April 2014</li> <li>• Precinct 1 – Stage 1 Landscape Planting Plan and Final Greenstock Reports (Stage 1 Streetscapes; Stage 1 – Park A; Stage 1 – Park B; Stage 1 – Graceful Boulevard; Stage 1 – Pink species), 1 July 2013</li> <li>• Precinct 1 – Stage 2 Landscape Planting Plan and Final Greenstock Reports (Stage 2 – Streetscapes), 2 April 2014</li> <li>• Precinct 1 – Stages 3 &amp; 4 Landscape Planting Plan and Final Greenstock Reports (Stages 3 &amp; 4), 2 April 2014.</li> </ul> <p>In addition, the following Final Greenstock Reports were provided:</p> <ul style="list-style-type: none"> <li>• Stage 1 – LAD 29</li> <li>• Alkimos Beach 5 &amp; 6 Streetscapes [trees]</li> <li>• Stage 1 – Sales Office.</li> </ul>	<p>Stage 1 and Stage 2 plant schedules were included in the PLRP. No Plant schedules were included in the 2013 Compliance Report. Plant Schedules for future stages have been prepared (see Appendix 3).</p> <p>Final Greenstock Reports have been prepared for all completed stages.</p> <p>Pending any review, amendment and approval of the PRLP (which may amend or otherwise address this requirement) the auditors recommend that future Annual Compliance Reports include updated tracking against tree targets to substantiate current progress.</p>	Construction	Construction	Conformant



Audit Code	Action	How	Evidence	Comment	Phase	When	Status
PLRP 5	<p>All future planting schedules and landscape designs will be in accordance with the principles in the PLRP.</p> <p>Lend Lease will conduct an audit of tree planting for each stage upon completion and submit the results annually as part of the Annual Compliance Report.</p>	<p>Design planting schedules and landscape plans in accordance with the requirements of the PLRP including Table 2, Table 3, and Table 4.</p> <p>Audit all tree planting activities annually.</p> <p>Include tree planting audit in the Annual Compliance Report.</p>	<p>Alkimos Beach – Estate Precinct Landscape and Revegetation Plan: Trees for Carnaby’s Cockatoo – Tracking Spreadsheet (September 2014).</p> <p>Appendix C of PLRP includes Stage 1 and 2 Planting Schedules:</p> <ul style="list-style-type: none"> <li>• Stage 1 Streetscape 25.01.2013</li> <li>• Stage 1 Park A 25.01.2013</li> <li>• Stage 1 Park B 25.01.2013</li> <li>• Stage 2 Streetscape 25.01.2013.</li> </ul> <p>The following ‘as constructed’ Landscape Planting Plans and associated Final Greenstock Reports were provided as evidence:</p> <ul style="list-style-type: none"> <li>• Entry Works Landscape Planting Plan and Final Greenstock Report (Marmion Avenue Entry Works), 2 April 2014</li> <li>• Precinct 1 – Stage 1 Landscape Planting Plan and Final Greenstock Reports (Stage 1 Streetscapes; Stage 1 – Park A; Stage 1 – Park B; Stage 1 – Graceful Boulevard; Stage 1 – Pink species), 1 July 2013</li> <li>• Precinct 1 – Stage 2 Landscape Planting Plan and Final Greenstock Reports (Stage 2 – Streetscapes), 2 April 2014</li> <li>• Precinct 1 – Stages 3 &amp; 4 Landscape Planting Plan and Final Greenstock Reports (Stages 3 &amp; 4), 2 April 2014.</li> </ul> <p>In addition, the following Final Greenstock Reports were provided:</p> <ul style="list-style-type: none"> <li>• Stage 1 – LAD 29</li> <li>• Alkimos Beach 5 &amp; 6 Streetscapes [trees]</li> <li>• Stage 1 – Sales Office.</li> </ul> <p>Practical Completion Certificates provided include:</p> <ul style="list-style-type: none"> <li>• Graceful Boulevard and Park A (PC 11/11/2013)</li> <li>• Stage 1 - Park A (PC 11/11/2013)</li> <li>• Stage 1 - Park B (PC 13/12/2013)</li> <li>• Stage 1 - Pectoral Ave (PC 11/02/2014)</li> <li>• Marmion Ave and Entry Softworks (PC 18/02/2014)</li> <li>• Stage 2 - Pectoral Ave (PC 07/03/2014)</li> <li>• Stage 3 &amp; 4 – Pectoral Ave (PC 24/04/2014)</li> <li>• <i>Alkimos Beach Compliance Report</i> (2011/5902), Lend Lease 2013.</li> </ul>	<p>Planting Schedules prepared to date are in line with the PLRP (Appendix 3).</p> <p>Completion as stated in this action is interpreted to mean achievement of a Practical Completion certificate.</p> <p>Practical Completion Certificates and Final Greenstock Reports for Stage 1 in conjunction with the Trees for Carnaby’s Cockatoo – Tracking Spreadsheet were provided to the auditors as substantiation for landscaping which has been delivered during the audit period.</p>	Ongoing	Annually	Conformant
PLRP 6	<p>The following table* demonstrates the number of trees under the Plants for Carnaby’s list schedule for Stage 1 and 2. This is the format expected to be included in the Annual Compliance Report.</p> <p>(*Table 3).</p>	<p>Implement plant schedules which meet the targets and planting lists for Stage 1 and 2 detailed in Table 3.</p> <p>Utilise Table 3 to inform Annual Compliance Reporting.</p>	<p><i>Alkimos Beach Compliance Report</i> (2011/5902), Lend Lease 2013.</p> <p>Alkimos Beach – Estate Precinct Landscape and Revegetation Plan: Trees for Carnaby’s Cockatoo – Tracking Spreadsheet (September 2014).</p>	<p>The number of Carnaby’s species planted within the reporting year was not included in a table consistent with Table 3 in the 2013 Compliance Report; however, the PLRP was not approved at the time.</p> <p>Progress against Carnaby’s tree targets is being tracked as indicated in Table 3, with detail of which species are locally native, plants for Carnaby’s, and seed collected (Appendix 4).</p>	Construction	Prior to completion of Stage 1 and 2 landscaping Annually	Conformant

Audit Code	Action	How	Evidence	Comment	Phase	When	Status
PLRP 7	The Plants for Carnaby targets set in Table 4 have responded accordingly (refer to Appendix E for supporting map). Overall the planting across South Alkimos will meet the 50% under Condition 12(b) of the approval.	Implement planting schedules which meet the targets detailed in Table 4. Ensure that the overall Carnaby's Planting Targets stated in Table 4 is met.	<p>Appendix D of PLRLP – <i>Alkimos Beach Precinct Plan</i> (Ref No. DLL ALK, Draw No. RD1019; Rev. F), 2 September 2013.</p> <p><i>Alkimos Beach Precinct Plan</i> (Ref No. DLL ALK, Draw No. RD1116, Rev. B), 12 August 2014.</p> <p>Alkimos Beach – Estate Precinct Landscape and Revegetation Plan: Trees for Carnaby's Cockatoo – Tracking Spreadsheet (September 2014).</p> <p>Practical Completion Certificates:</p> <ul style="list-style-type: none"> <li>Graceful Boulevard and Park A (PC 11/11/2013)</li> <li>Stage 1 - Park A (PC 11/11/2013)</li> <li>Stage 1 - Park B (PC 13/12/2013)</li> <li>Stage 1 - Pectoral Ave (PC 11/02/2014)</li> <li>Marmion Ave and Entry Softworks (PC 18/02/2014)</li> <li>Stage 2 - Pectoral Ave (PC 07/03/2014)</li> <li>Stage 3 &amp; 4 – Pectoral Ave (PC 24/04/2014).</li> </ul> <p>The following 'as constructed' Landscape Planting Plans and associated Final Greenstock Reports were provided as evidence:</p> <ul style="list-style-type: none"> <li>Entry Works Landscape Planting Plan and Final Greenstock Report (Marmion Avenue Entry Works), 2 April 2014</li> <li>Precinct 1 – Stage 1 Landscape Planting Plan and Final Greenstock Reports (Stage 1 Streetscapes; Stage 1 – Park A; Stage 1 – Park B; Stage 1 – Graceful Boulevard; Stage 1 – Pink species), 1 July 2013</li> <li>Precinct 1 – Stage 2 Landscape Planting Plan and Final Greenstock Reports (Stage 2 – Streetscapes), 2 April 2014</li> <li>Precinct 1 – Stages 3 &amp; 4 Landscape Planting Plan and Final Greenstock Reports (Stages 3 &amp; 4), 2 April 2014.</li> </ul> <p>In addition, the following Final Greenstock Reports were provided:</p> <ul style="list-style-type: none"> <li>Stage 1 – LAD 29</li> <li>Alkimos Beach 5 &amp; 6 Streetscapes [trees]</li> <li>Stage 1 – Sales Office.</li> </ul>	Refer to PLRP 2. The target has not been met; however, Lend Lease has yet to complete landscaping and is on track to meet the target at completion.	Revegetation	Revegetation - during planning	Conformant.
PLRP 8	In the instance that the existing Plants for Carnaby's list does not provide a great enough diversity of species that are suitable to a coastal environment and endorsed by the City of Wanneroo, Lend Lease will investigate opportunities to include a greater diversity species on that list.	Determine species required for landscaping within coastal areas. Determine adequacy of approved species lists within landscaping requirements. Investigate opportunities for additional species to be approved in the event that there are not enough suitable species for coastal area landscaping.	Interview 3/9/2014.	Lend Lease has advised that landscaping has yet to occur within the more coastal areas of the site. An investigation and approval has yet to be undertaken and sought for additional species for coastal areas.	Construction	Prior to completion of coastal landscaping areas	Conformant

Audit Code	Action	How	Evidence	Comment	Phase	When	Status
PLRP 9	For all planting to occur within parks and streetscape, the survival target is 90%. LD Total is contractually bound to meet the 90% survival target and must at its own cost mitigate (replace) any failed trees.	Include a 90% survival rate in all LD Total contracts for parks and streetscapes. Contracts will bind LD Total to meet the costs of mitigation and replacement for any failed trees.	<p>Practical Completion Certificates:</p> <ul style="list-style-type: none"> <li>Graceful Boulevard and Park A (PC 11/11/2013)</li> <li>Stage 1 - Park A (PC 11/11/2013)</li> <li>Stage 1 - Park B (PC 13/12/2013)</li> <li>Stage 1 - Pectoral Ave (PC 11/02/2014)</li> <li>Marmion Ave and Entry Softworks (PC 18/02/2014)</li> <li>Stage 2 - Pectoral Ave (PC 07/03/2014)</li> <li>Stage 3 &amp; 4 – Pectoral Ave (PC 24/04/2014).</li> </ul> <p>The following 'as constructed' Landscape Planting Plans and associated Final Greenstock Reports were provided as evidence:</p> <ul style="list-style-type: none"> <li>Entry Works Entry Works Landscape Planting Plan and Final Greenstock Report (Marmion Avenue Entry Works), 2 April 2014</li> <li>Precinct 1 – Stage 1 Landscape Planting Plan and Final Greenstock Reports (Stage 1 Streetscapes; Stage 1 – Park A; Stage 1 – Park B; Stage 1 – Graceful Boulevard; Stage 1 – Pink species), 1 July 2013</li> <li>Precinct 1 – Stage 2 Landscape Planting Plan and Final Greenstock Reports (Stage 2 – Streetscapes), 2 April 2014</li> <li>Precinct 1 – Stages 3 &amp; 4 Landscape Planting Plan and Final Greenstock Reports (Stages 3 &amp; 4), 2 April 2014.</li> </ul> <p>Site inspection and Interview 3/9/2014.</p> <ul style="list-style-type: none"> <li>Successful landscaping and planting (Plate 1, Plate 2, Plate 3, Plate 4, Plate 5, Plate 7, Plate 8).</li> </ul>	<p>LD Total advised that success criteria are higher than 90%, with Lend Lease/AECOM requiring replacement of failed plants through the sign off process.</p> <p>Auditors reviewed the available Practical Completion Reports for Stage 1 and found that direction was given in regards to replacement of failed plants and liability for these actions. The Practical Completion reports do not include species counts.</p> <p>The final Greenstock Reports include 'as constructed' species planted within each stage. Site inspection indicates that the landscaping appears successful, with very minimal numbers of dead or unhealthy plants observed.</p> <p>The auditors advise that reference to specific contractors be avoided in the PLRP as this presents a compliance risk in the event the named contractor is replaced. The auditors recommend addressing this if the PLRP is amended and re-submitted for approval.</p>	During Construction	During Construction	Conformant
PLRP 10	Prior to handover, the landscape contractor must meet all of the specifications within the landscape contract including 90% tree survival to enable practical completion to be issued and final payment for the contracted work.	Inspect completed areas prior to handover to ensure that all specifications have been met, including 90% survival rate for Carnaby's tree species.	<p>Practical Completion Certificates:</p> <ul style="list-style-type: none"> <li>Graceful Boulevard and Park A (PC 11/11/2013)</li> <li>Stage 1 - Park A (PC 11/11/2013)</li> <li>Stage 1 - Park B (PC 13/12/2013)</li> <li>Stage 1 - Pectoral Ave (PC 11/02/2014)</li> <li>Marmion Ave and Entry Softworks (PC 18/02/2014)</li> <li>Stage 2 - Pectoral Ave (PC 07/03/2014)</li> <li>Stage 3 &amp; 4 – Pectoral Ave (PC 24/04/2014)</li> </ul> <p>The following 'as constructed' Landscape Planting Plans and associated Final Greenstock Reports were provided as evidence:</p> <ul style="list-style-type: none"> <li>Entry Works Entry Works Landscape Planting Plan and Final Greenstock Report (Marmion Avenue Entry Works), 2 April 2014</li> <li>Precinct 1 – Stage 1 Landscape Planting Plan and Final Greenstock Reports (Stage 1 Streetscapes; Stage 1 – Park A; Stage 1 – Park B; Stage 1 – Graceful Boulevard; Stage 1 – Pink species), 1 July 2013</li> <li>Precinct 1 – Stage 2 Landscape Planting Plan and Final Greenstock Reports (Stage 2 – Streetscapes), 2 April 2014</li> <li>Precinct 1 – Stages 3 &amp; 4 Landscape Planting Plan and Final Greenstock Reports (Stages 3 &amp; 4), 2 April 2014.</li> </ul> <p>Site inspection and Interview 3/9/2014.</p> <ul style="list-style-type: none"> <li>Successful landscaping and planting (Plate 1, Plate 2, Plate 3, Plate 4, Plate 5, Plate 7, Plate 8).</li> </ul>	<p>Auditors interpreted the term handover in this audit item to mean completion of establishment period by the landscape contractor (LD Total), and commencement of maintenance period by another contractor (AECOM).</p> <p>LD Total advised that success criteria are higher than 90%, with Lend Lease requiring replacement of failed plants through the sign off process.</p> <p>Auditors reviewed the available Practical Completion Reports for Stage 1 and found that direction was given in regards to replacement of failed plants and liability for these actions.</p> <p>Site inspection indicates that the landscaping appears successful, with very minimal numbers of dead or unhealthy plants observed.</p>	Construction	During Construction	Conformant

Audit Code	Action	How	Evidence	Comment	Phase	When	Status
PLRP 11	The survival of planting with the Conservation POS (Park H and I) and the Regional Open Space will be managed through implementation of the Conservation Area Management Plan and Foreshore Management Plan required by Condition 10 and 11 of the Approval respectively.	Implement the Conservation Area Management Plan and the Foreshore Management Plan.	Lend Lease 2013, Alkimos Beach Compliance Report (2011/5902)	This audit did not assess implementation of the CAMP and FMP.	Construction	Ongoing	Not audited
PLRP 12	Handover to the City of Wanneroo (CoW) will be undertaken following 2 years.	Maintain streetscapes and POS areas for 24 months.	Site inspection and Interview 3/9/2014.	All landscaping and streetscapes are still within the 24 month maintenance period. Handover to CoW has not yet occurred.	Construction	24 months following planting	Not applicable at time of audit
PLRP 13	Following handover, maintenance of streetscapes and POS will be managed by the CoW.	Maintain streetscapes and POS following handover ( <b>CoW action</b> ).	Site inspection and Interview 3/9/2014.	All landscaping and streetscapes are still within the 24 month maintenance period. Handover to CoW has not yet occurred.	Construction And Ongoing	On-going following handover	Not applicable at time of audit
PLRP 14	Handover across the site will be staged in accordance with the park and street delivery. All parks and streets are expected to be handed over by the completion of the project. Refer to the staging plan in Attachment B for the breakdown of park and street delivery across the Estate.	Handover streetscapes and POS areas to the CoW following delivery from Landscape contractor. Handover all streetscapes and parks prior to completion of the development. Streetscape and POS areas are detailed in Attachment B.	Site inspection and Interview 3/9/2014.	All landscaping and streetscapes are still within the 24 month maintenance period. Handover to CoW has not yet occurred.	Construction	On completion of each area During Construction	Not applicable at time of audit
PLRP 15	For each stage or park a detailed design is submitted to the City of Wanneroo for their review and support.	Prepare a detailed design for each streetscape and POS area on completion of each stage to facilitate handover assessment. Submit detailed design for each stage or park to CoW at handover.	Site inspection and Interview 3/9/2014.	LD Total has indicated that 'As Constructed Plans' will be included in submissions to CoW at the time of handover. All landscaping and streetscapes are still within the 24 month maintenance period. Handover to CoW has not yet occurred.	Construction	Handover	Not applicable at time of audit
PLRP 16	The City of Wanneroo's review assesses the design to ensure it complies with the City's standards and confirm that ultimately the City will be able to manage the area following the required 2 year maintenance period.	Review correspondence from the CoW and ensure that it addresses: 1. Compliance with City standards. 2. The capacity of the City to manage the areas following the 2 year maintenance period.	Site inspection and Interview 3/9/2014.	All landscaping and streetscapes are still within the 24 month maintenance period. Handover to CoW has not yet occurred.	Construction	Handover	Not applicable at time of audit
PLRP 17	Clearing within the 'no clearing area' on attachment C of the approval will not commence until the Management Plans required under Condition 10-12 of the approval are approved.	Restrict clearing of 'no clearing area' as detailed in Attachment C of the approval until all management plans required under Condition 10-12 are approved.	Interview and site inspection 3/9/2014. <i>DRAFT Carnaby's Black Cockatoo – Figure</i> (Ref No. DLL ALK, Draw No. RD1 051, Rev C), 131125. <i>DRAFT Carnaby's Black Cockatoo – Figure</i> (Ref No. DLL ALK, Draw No. RD1 051, Rev C), 140809. Email correspondence from Lend Lease to DotE discussed lodgement of the Management Plans required by Condition 10, 11 and 12 of EPBC 2011/5902 (140318. Lodgement Email MPs Cond 10-11-12). Formal correspondence from DotE to Lend Lease relating to approval of management plans required under EPBC 2011/5902 ( <i>Urban Development – Lot 1004, 80L Romeo Road and 2611 Marmion Avenue, Alkimos, WA [EPBC 2011/5902]</i> ), 8 April 2014. Email correspondence from DotE to Lend Lease relating to removal of 'No Clearing Area' ( <i>FW: Alkimos – Environment – Re-lodgement of plans for Conditions 10-12 – EPBC 2011/5902</i> ), 11 April 2014. Formal correspondence from Lend Lease to DotE relating to submission, approval and current status of management plans required under EPBC 2011/5902 ( <i>Urban Development – Lot 1004, 80 Romeo Road and 2611 Marmion Avenue, Alkimos, WA [EPBC 2011/5902]</i> ), 25 July 2014. Plate 6 shows double fence line into the 'No Clearing Area' and Regional Open Space areas.	Correspondence includes approval for the submitted versions of the Conservation Area Management Plan (Rev 1); the Foreshore Management Plan (Rev 3) and the Precinct Landscaping and Revegetation Management Plan (Version 1). Figures show that no clearing appears to have occurred in the 'No Clearing Area' to date. Records substantiating the areas cleared would be beneficial to more accurately assess this criterion. Correspondence from DotE to Lend Lease confirms that the 'No Clearing' area of Attachment C is no longer restricted; however, as per the PLRP Lend Lease is committed to informing DotE when clearing in this area is proposed.	Construction	Prior to approval of management plans	Conformant.

Audit Code	Action	How	Evidence	Comment	Phase	When	Status
PLRP 18	Lend Lease will notify the department within 30 days of clearing commencing within the 'no clearing area' on attachment C of the approval.	Prepare correspondence to notify the department of the date clearing was commenced within the 'no clearing area' .	<p>Interview and site inspection 3/9/2014.</p> <p><i>DRAFT Carnaby's Black Cockatoo – Figure</i> (Ref No. DLL ALK, Draw No. RD1051, Rev C), 131125.</p> <p><i>DRAFT Carnaby's Black Cockatoo – Figure</i> (Ref No. DLL ALK, Draw No. RD1051, Rev C), 140809.</p> <p>Email correspondence from Lend Lease to DotE discussed lodgement of the Management Plans required by Condition 10, 11 and 12 of EPBC 2011/5902 (140318. <i>Lodgement Email MPs Cond 10-11-12</i>).</p> <p>Formal correspondence from DotE to Lend Lease relating to approval of management plans required under EPBC 2011/5902 (<i>Urban Development – Lot 1004, 80L Romeo Road and 2611 Marmion Avenue, Alkimos, WA [EPBC 2011/5902]</i>), 8 April 2014.</p> <p>Email correspondence from DotE to Lend Lease relating to removal of 'No Clearing Area' (<i>FW: Alkimos – Environment – Re-lodgement of plans for Conditions 10-12 – EPBC 2011/5902</i>), 11 April 2014.</p> <p>Formal correspondence from Lend Lease to DotE relating to submission, approval and current status of management plans required under EPBC 2011/5902 (<i>Urban Development – Lot 1004, 80 Romeo Road and 2611 Marmion Avenue, Alkimos, WA [EPBC 2011/5902]</i>), 25 July 2014.</p>	<p>Correspondence includes approval for the submitted versions of the Conservation Area Management Plan (Rev 1); the Foreshore Management Plan (Rev 3) and the Precinct Landscaping and Revegetation Management Plan (Version 1).</p> <p>Figures show that no clearing appears to have occurred in the 'No Clearing Area' to date.</p> <p>Records substantiating the areas cleared would be beneficial to more accurately assess this criterion.</p> <p>Correspondence from DotE to Lend Lease confirms that the 'No Clearing' area of Attachment C is no longer restricted.</p>	Construction	Within 30 days of clearing commencing	Not Required at this time
PLRP 19	As discussed the Annual Compliance Report is required as part of Condition 3 of the approval. In accordance with the PLRP the following details are required: <ol style="list-style-type: none"> <li>1. Provide an update of any completed or tendered landscape for future stages.</li> <li>2. Report against planting targets.</li> <li>3. Report against survival of landscape</li> </ol>	Prepare an Annual Compliance Report which includes: <ol style="list-style-type: none"> <li>1. Provide an update of any completed or tendered landscape for future stages.</li> <li>2. Report against planting targets.</li> <li>3. Report against survival of landscape.</li> </ol>	<p><i>Alkimos Beach Compliance Report</i> (2011/5902), Lend Lease 2013.</p>	<p>The 2013 compliance report includes a statement of progress for the PLRP. The plan was yet to be approved at the time the previous Compliance Report was written.</p> <p>Refer to for the required detail in Appendix 4 of this 2014 report.</p> <p>The auditors note that numbered items 1 and 3 are ambiguous as to the actual requirement (i.e. the definition of 'landscape' in terms of the aspect of 'landscape' to be addressed is unclear.) The auditors recommend this section of the PLRP be reviewed in any amendment of the plan to be submitted and approved by the Minister.</p>	Construction	Annually	Conformant

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**Appendix 2**  
**Photo evidence**







Plate 1 Park B Revegetation and landscaping



Plate 2 Park B Revegetation and landscaping





Plate 3 Park D Revegetation and landscaping





Plate 4 Park D Revegetation and landscaping



Plate 5 Pectoral Promenade - street trees present (following completion of houses)



Plate 6 Double fence line - vegetation to be retained





Plate 7 Park A revegetation and landscaping



Plate 8 Graceful Boulevard revegetation

**Appendix 3**  
**Future Plant Schedules**



**Appendix 4**  
**Precinct Landscape and Revegetation**  
**Plan - Rehabilitation tracking**  
**spreadsheet**





