

Fast facts about Averley



Averley at a glance



1 proposed primary school

800m*

from proposed Pakenham East PSP Town Centre



Targeting a 6 Star Green Star Communities rating



1 proposed Community Activity Centre

Space for

1,500

homes



11ha

Wetland reserve and trails



20%

of the project dedicated to public open space



10ha

Hilltop Park



Community and population

- 1 proposed primary school.
- 1 proposed Community Activity Centre.
- 800m* from proposed Pakenham East Town Centre.
- Space for 1,500 homes.
- Projected population of 4,400 residents.



Location, transport and housing

- 65km* southeast from Melbourne's CBD.
- 5km* from Pakenham Town Centre.
- 5km* from Pakenham Train Station.
- 3km* from the future Pakenham East Train Station.^
- 60km* from Mornington Peninsula.
- 45km* from Dandenong Ranges.
- Range of house and land packages available.



Parks, open spaces and recreation

- 20% of the project dedicated to public open space.
- 10ha Hilltop Park.
- 11ha wetland reserve and trails.
- Tree-lined boulevards.
- Extensive walking and biking trails.



Pakenham East Precinct

- Community is set within the Pakenham East Precinct Structure Plan which proposes:
 - 14 new parks
 - 2 sports reserves
 - 4 schools
 - 3 community centres
 - 1 town centre and
 - 1 convenience centre.
- 7 existing schools and early learning centres within 7km.
- Easy access to Princess Highway.

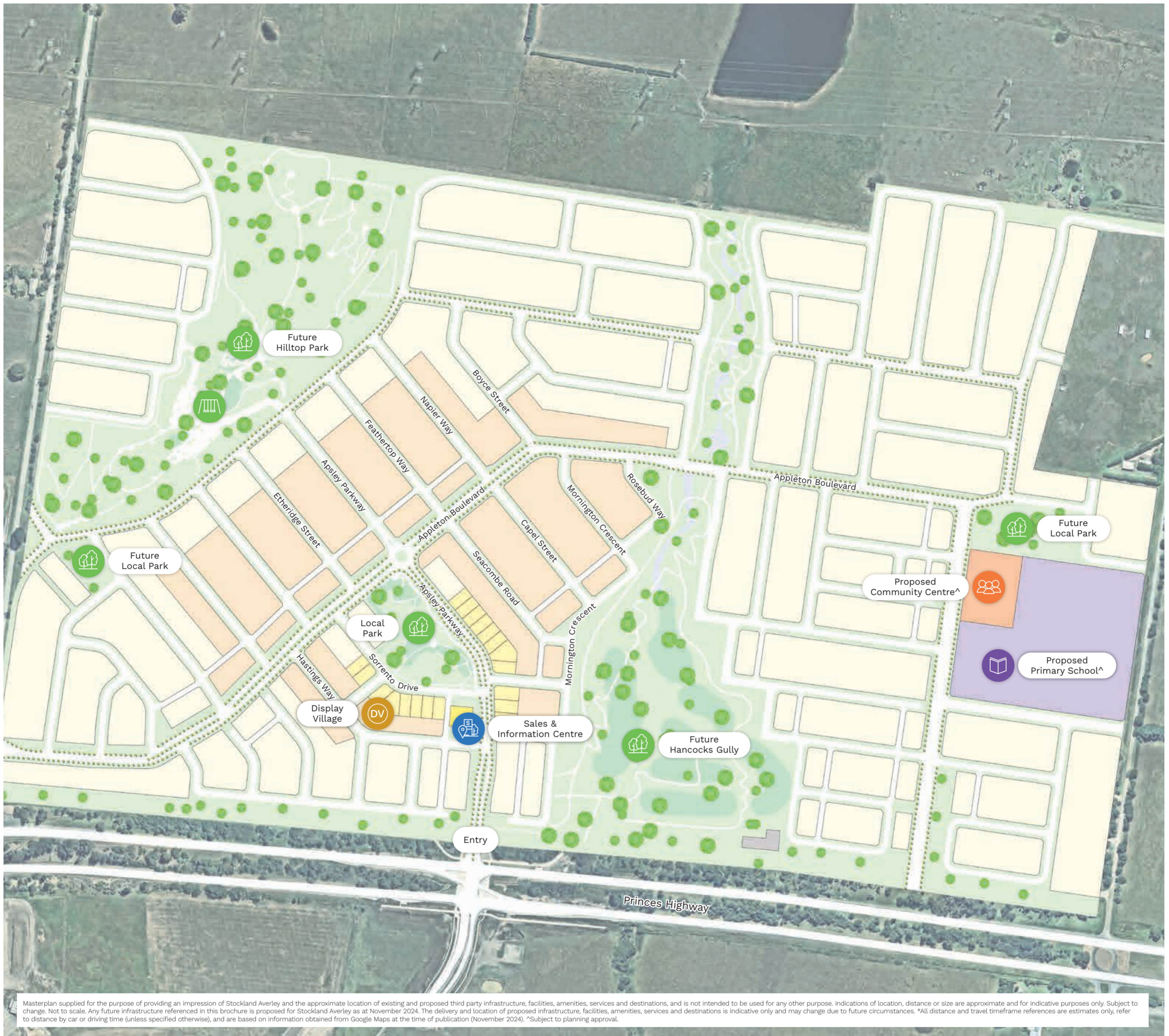


Sustainability

- Targeting a 6 Star Green Star Communities rating.
- Fibre optic network connection provided to all homes.
- Recycled water (purple pipe) to the home.
- Reducing urban heat island effect through landscaping outcomes.
- Lighter colour palettes to reduce urban heat island effect.
- Encourage the construction of 7-star and electrification packages to assist residents in reducing their homes' operating costs while being kind to the environment.

*All distance and travel time references are estimates only, refer to distance by car or driving time (unless specified otherwise), and are based on information obtained from Google Maps at the time of publication (November 2024).

^Future Pakenham East Train Station has been announced by Victorian Government and is forecast to open in 2024. Delivery is outside Stockland's control and no warranty, express or implied is provided in relation to its delivery.



Masterplan supplied for the purpose of providing an impression of Stockland Averley and the approximate location of existing and proposed third party infrastructure, facilities, amenities, services and destinations, and is not intended to be used for any other purpose. Indications of location, distance or size are approximate and for indicative purposes only. Subject to change. Not to scale. Any future infrastructure referenced in this brochure is proposed for Stockland Averley as at November 2024. The delivery and location of proposed infrastructure, facilities, amenities, services and destinations is indicative only and may change due to future circumstances. *All distance and travel timeframe references are estimates only, refer to distance by car or driving time (unless specified otherwise), and are based on information obtained from Google Maps at the time of publication (November 2024). *Subject to planning approval.

Sales & Information Centre

Display Village

Education and Childcare Centres

- Proposed Primary School
- Aspire Childcare Pakenham – 5.6km
- Pakenham Twinklekids Early Learning Centre – 6.2km
- The Learning Sanctuary Pakenham – 6.3km
- Pakenham Primary School – 3.2km
- Pakenham Lakeside Primary School – 9.9km
- John Henry Primary School – 10.4km
- Pakenham Secondary College – 6.4km
- Beaconhills College – 7.2km
- Lakeside College – 7.9km

Shopping and Amenities

- Cardinia Lakes Shopping Centre – 3km
- Pakenham Central Marketplace – 5.4km
- Pakenham Place Shopping Centre – 5.8km
- The Drake Tavern/Railway Hotel Pakenham – 5.8km
- The Cornerstone Cafe – 6.1km
- Village Lakeside Shopping Centre – 7.8km
- Bunnings Pakenham – 8km

Public Transport and Accesses

- Princes Freeway entry – 3.3km
- East Pakenham Station – 4.1km
- Nar Nar Goon Railway Station – 4.6km
- Pakenham Train Station – 6km

Leisure and Sporting Clubs

- Pakenham & District Golf Club – 5.7km

Parks and Open Spaces

- Proposed Hilltop Park
- Proposed local parks
- Eastone Reserve – 3.5km
- Vantage Drive Reserve – 4.2km
- Toomuc Reserve – 7.5km
- Lakeside Pakenham – 8.2km

Attractions

- Proposed Community Centre
- Pakenham Main Street Cafes & Restaurants – 6.2km
- Gumbuya World – 11.4km
- D'Angelo Estate Vineyard – 13.1km
- Morningson Peninsula – 60km

Legend

- Released Land
- Future Release
- Future Display Village
- Parks and Greenspace
- Proposed Education
- Proposed Community Centre

Averley Sales & Information Centre

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