

# Forest Reach

Design Essentials



Stockland



Forest Reach

Contact us  
[design@stockland.com.au](mailto:design@stockland.com.au)

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# THE COMMUNITY VISION

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## The vision for Forest Reach

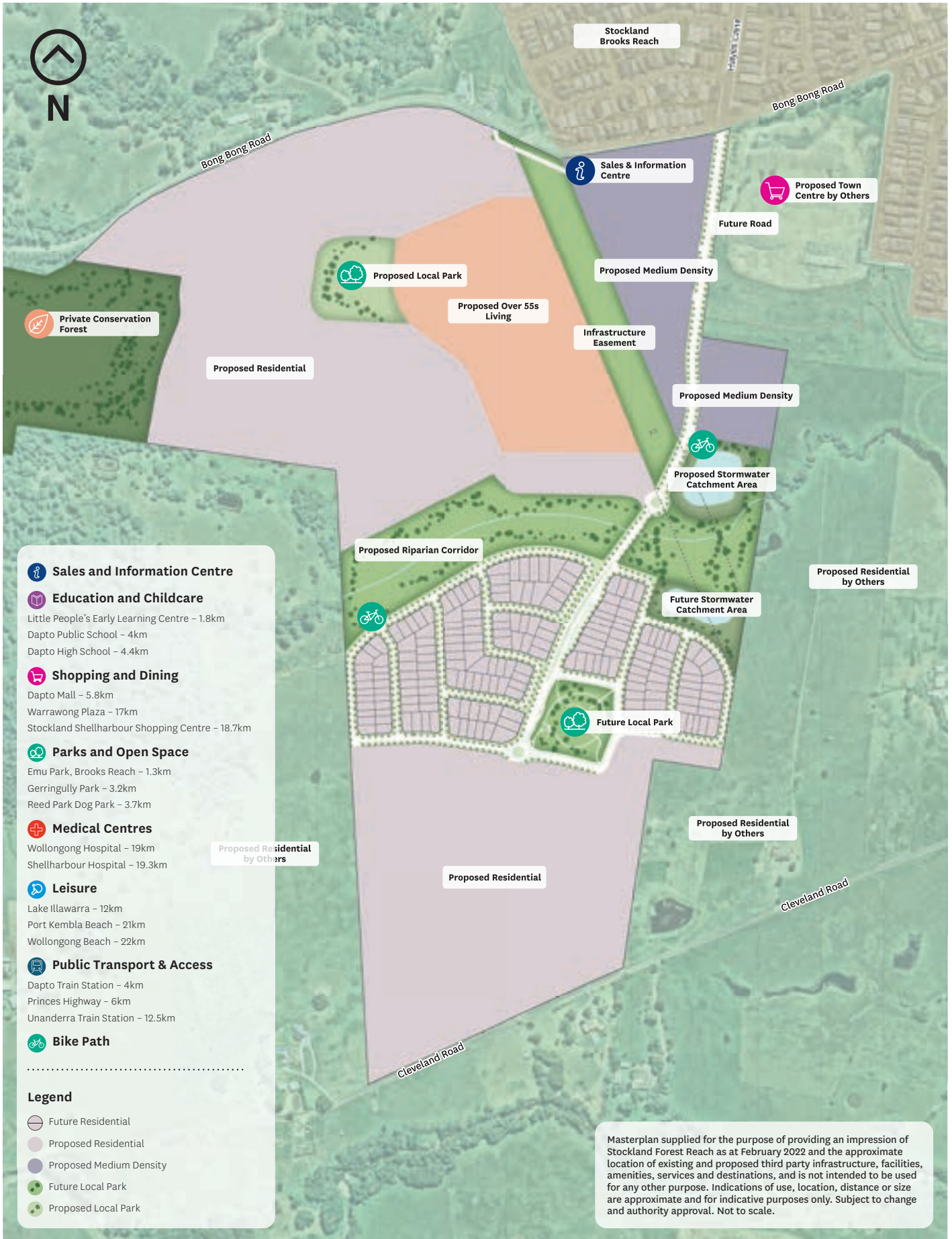
Surrounded by breathtaking views of the Illawarra region and escarpment, this future community celebrates the exceptional landscape and heritage of the region. Stockland is presented with a unique opportunity to deliver a high-quality masterplanned community. It will provide a wide range of first-rate public and private facilities and market-leading housing choices in a variety of landscape settings.

The Design Essentials outlined in this document allow the implementation of key design principles to deliver a strong sense of place and community.

This community will offer an incomparable range of lifestyle choices, providing an outstanding place set in a signature landscape with memorable landmarks where people will love to live. A place that people will be proud to call home.



# FOREST REACH MASTERPLAN



# GUIDING YOUR HOME DESIGN

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## Stockland's commitment & objectives

Stockland's commitment to you is to encourage and showcase quality Urban Design throughout Forest Reach. Stockland's objective is to create a pleasant living environment that is centred around a strong sense of community and provides a variety of housing solutions to suit a diverse range of lifestyles. Designing your ideal home is one of the biggest advantages of building new and our Design Essentials are put together with you in mind and to assist you in getting the most out of your investment and lifestyle.

It is important that the design of your home is in keeping with the Design Essentials outlined in this document. They have been created to:

- Encourage visually appealing and cohesive streetscapes that protect your investment.
- Promote environmentally responsive development.
- Help you get the best out of your home site.
- Outline the process to get your home approved.
- Assure you that everyone will contribute to achieving a strong neighbourhood character and standard of housing.
- Promote a contemporary approach to design that responds to the local climate and context, and 'The Community Vision'.



# DESIGN APPROVAL

## Approval process

Stockland has prepared these Design Essentials to guide house design for its communities.

The Design Essentials should be read in conjunction with the NSW Housing Code and Councils requirements.

## Complying development certificate (CDC)

You may be able to seek a Complying Development Certificate (CDC) for your proposed home. You should talk to your builder/designer about this option, which may save you time and money.

## Development application (DA)

Alternatively, you may wish to seek guidance from the relevant Council authority bodies and submit a development application to Council.

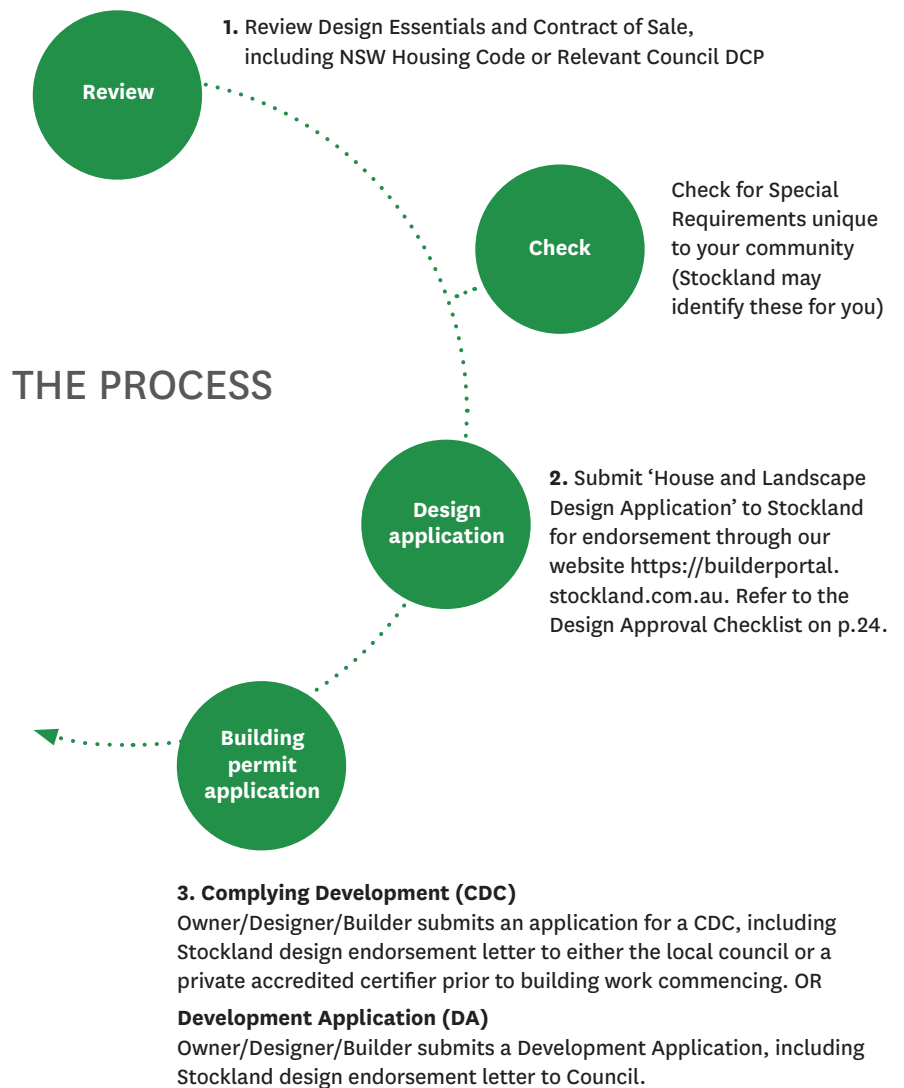
To ensure a smooth design review process, please pass this document on to your designer/builder so that a 'Home Design Package' can be prepared for endorsement by Stockland, prior to a CDC or Authority approval.

This Package must include:

- Site Plan (1:200);
- Floor plans;
- Elevations;
- Sections (1:100);
- External colours and materials selection;
- Landscape Plan (does not have to be professionally drawn up, you can use the site plan to mark up your proposed landscaping).

Any departures from the Design Essentials will be assessed separately and based on its architectural merits.

The key steps in the Approval process are outlined in the following chart (at right).



# THE DESIGN ESSENTIALS

# 01

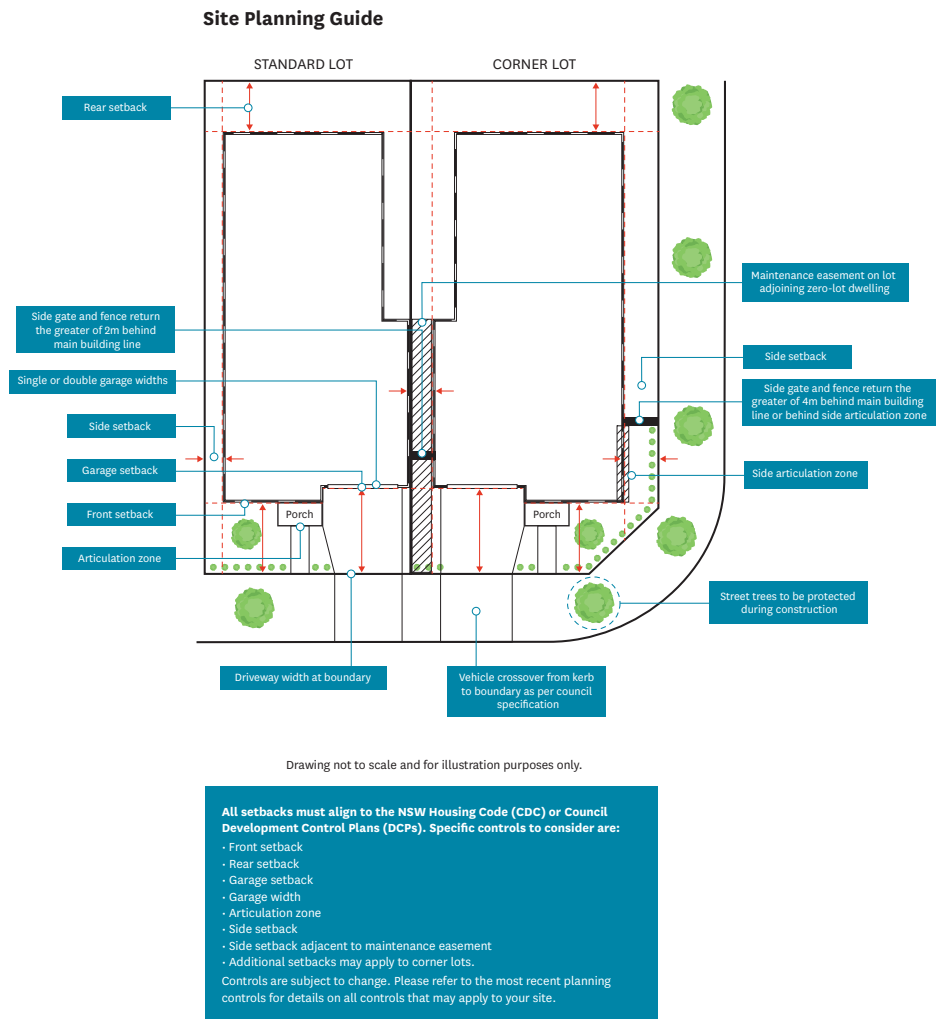
## SITING AND SERVICING YOUR HOME

### 1.1 Minimum setbacks

Setbacks to building lines shall be as per NSW housing code (or Council DCP variations excepted).

### 1.2 Surrounding services

House construction and site works must not impact, damage or alter the surrounding levels of services installed within the council verge. If any works (such as filling or landscaping) result in the need for a service to be rectified by Stockland or a utility provider, this rectification cost will be passed on to the property owner.





# 02

## THE STYLE OF YOUR HOME

### 2.1 Home style

Your Home design must be either “Hamptons-inspired” or “Contemporary” and in keeping with the other homes in your street.

Faux heritage styles and detailing will not be permitted unless it is in keeping with the above architectural styles.

### 2.2 House design separation

The house facade may not be the same as one within three lots either side or across the street, unless:

- It is approved in writing by Stockland and/or
- The house is part of a row of terraced homes or a medium density development.



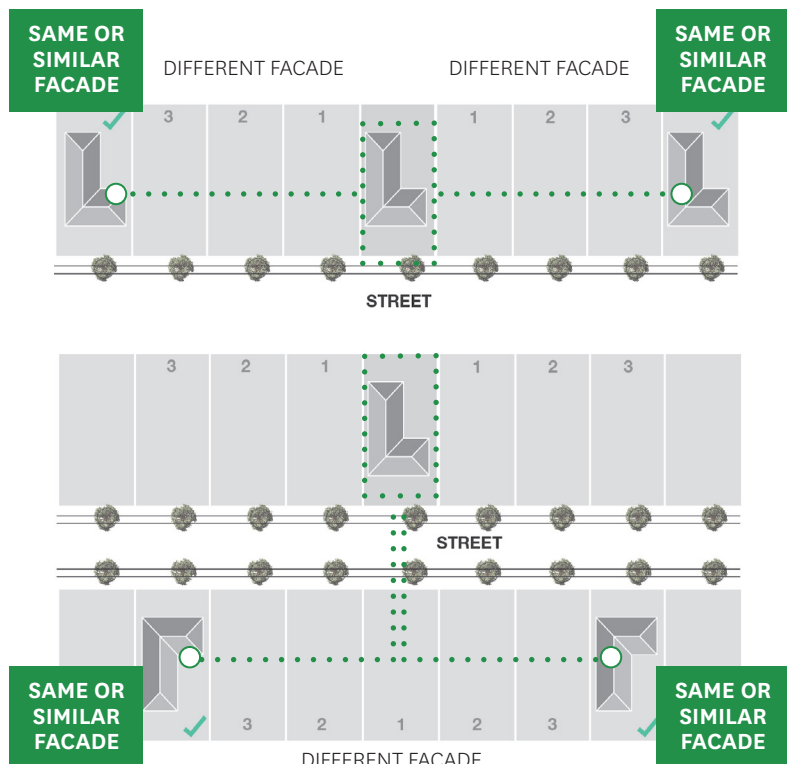
✓ **Hamptons-inspired facade by Carlisle Homes**



✓ **Contemporary facade**



✗ **Faux heritage features not permitted**



### 2.3 Roof pitch

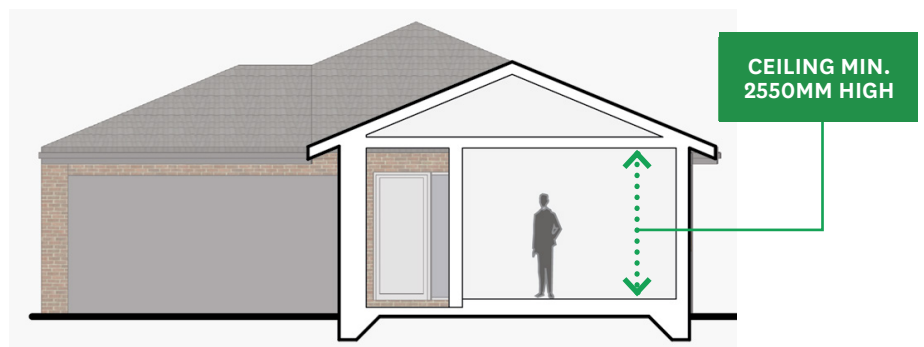
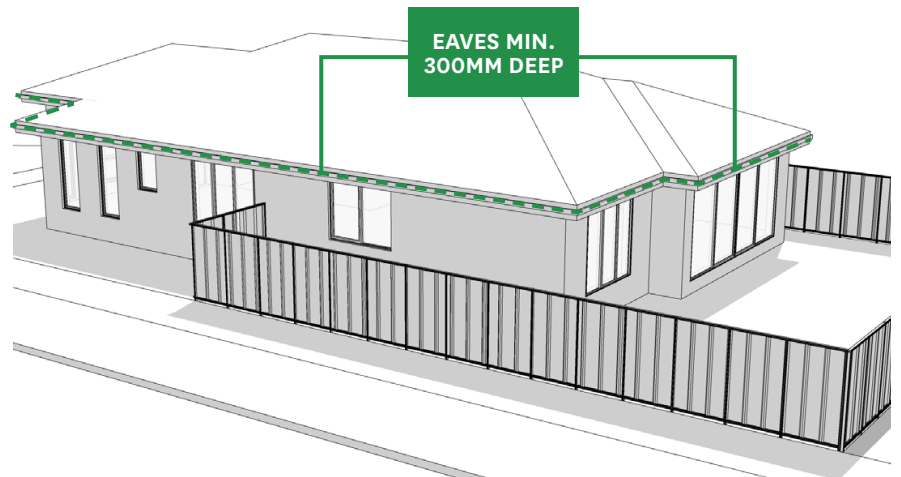
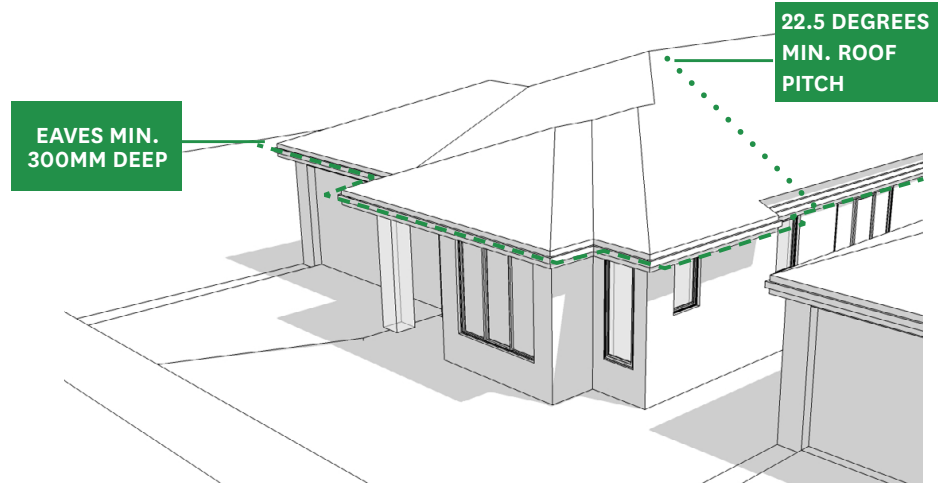
A minimum roof pitch of 22.5 degrees is required for a hipped roof. A minimum roof pitch of 8 degrees is required for a skillion roof. Flat roofs are to be concealed by a parapet.

### 2.4 Eaves

Eaves, excluding fascia and gutter, are to be provided to all habitable rooms and must overhang by a minimum of 300mm. Where zero-lot boundaries apply, the non-habitable rooms (i.e. garages) are exempt from this requirement.

### 2.5 Ceiling heights

The ground floor of your home must have a minimum ceiling height of 2550mm.



# 03

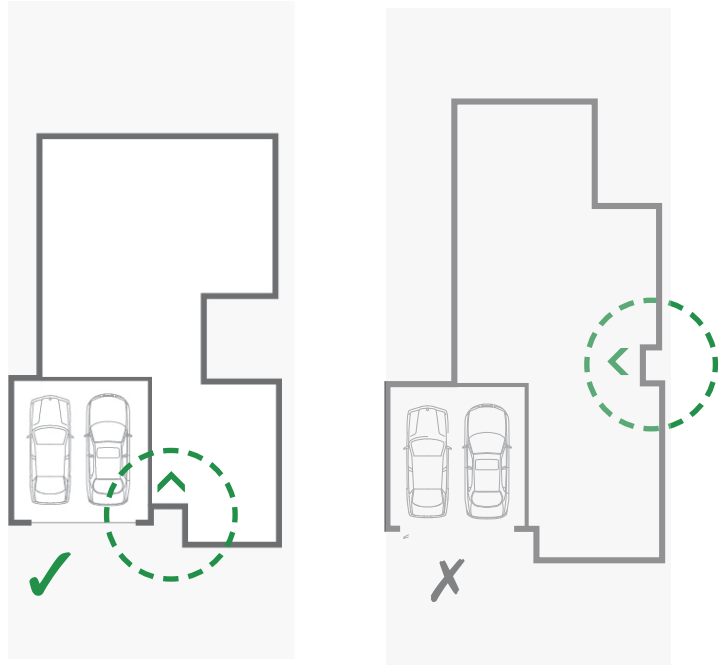
## HOW YOUR HOME ADDRESSES THE STREET

### 3.1 Front door facing the street

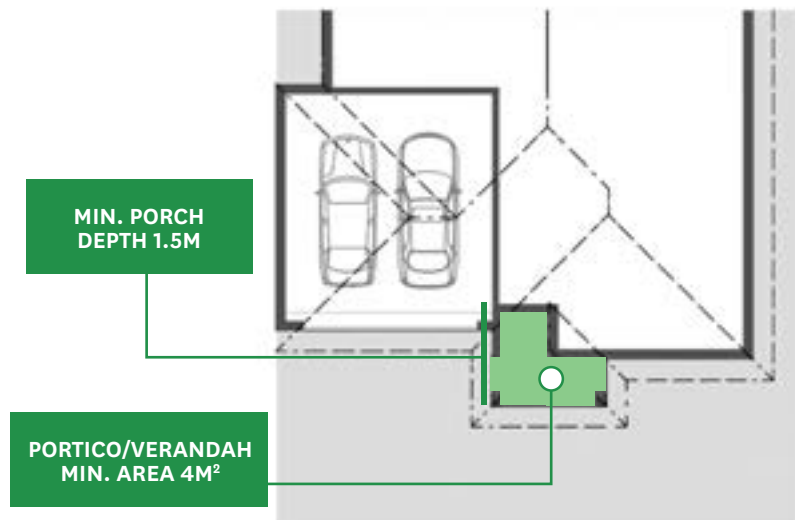
Your home must have a front door facing the street and either a verandah, porch or portico, to allow for passive surveillance.

### 3.2 Porch, portico or verandah size

Your home must have an undercover porch, portico or verandah with a minimum floor area of 4m<sup>2</sup> and a minimum depth of 1.5m.



Front door facing the street



Porch, portico or verandah size

**3.3 Second-storey facade articulation**

Second-storey facades to front or side streets and rear laneway must incorporate articulation via balconies and/or modulations (eg. additional setbacks, roof articulation).

**3.4 External Materials**

All external materials and colours must suit the character of the neighbourhood and be submitted to Stockland for approval.

Any facade of your home visible from a street or public space must have a minimum area of 20% of a material or colour contrasting with the main material or colour.

The 20% is calculated excluding windows, doors, garage doors and other openings.

Colour and material requirements apply to both the first and second storey of the facade.

For homes on corner and rear-accessed lots, architectural treatment, facade elements, roof articulation, materials and colours incorporated on the front facade must return along the secondary street frontage up to the corner fence return. Refer to corner fence requirements.



✓ **Front street elevation materials and colours continue for all facades visible to the street**

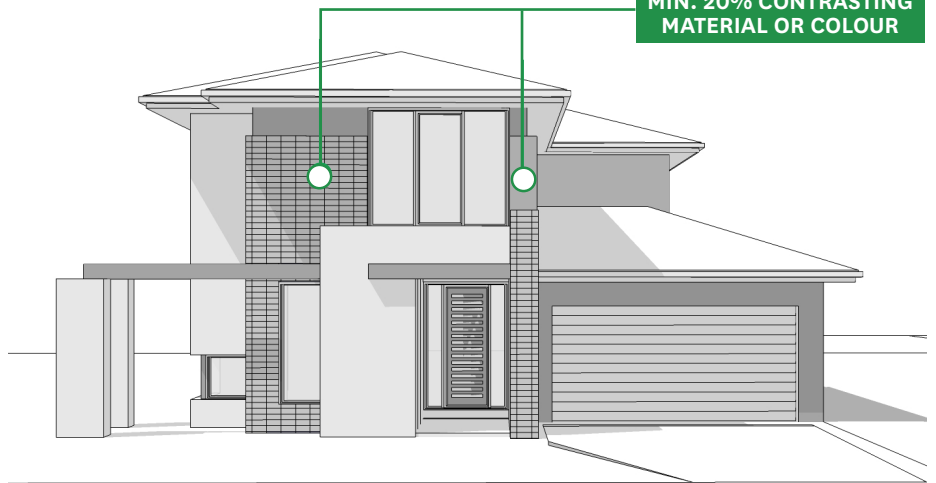
**BALCONY TO FRONT & SIDE STREET SECOND STOREY FACADE**



✓ **Corner lot architectural treatment, facade elements, roof articulation, materials and colours**

**FACADE ELEMENTS RETURN ALONG SIDE STREET FRONTAGE UP TO CORNER FENCE RETURN**

**MIN. 20% CONTRASTING MATERIAL OR COLOUR**



✓ **Additional setback and articulation to second-storey facade**

### 3.5 Roof, gutters and downpipes

Gutter and fascia colours are to match the roof colour. Downpipe colours must not contrast with wall colour.

Roof materials must not be: unfinished, reflective, galvanised, zinc, fibre cement or tray deck sheeting.

### 3.6 Garages

The garage must be attached and match the quality and finish of the exterior of your home. Carports will not be approved. Single and double garages must be set back a minimum of 900mm.

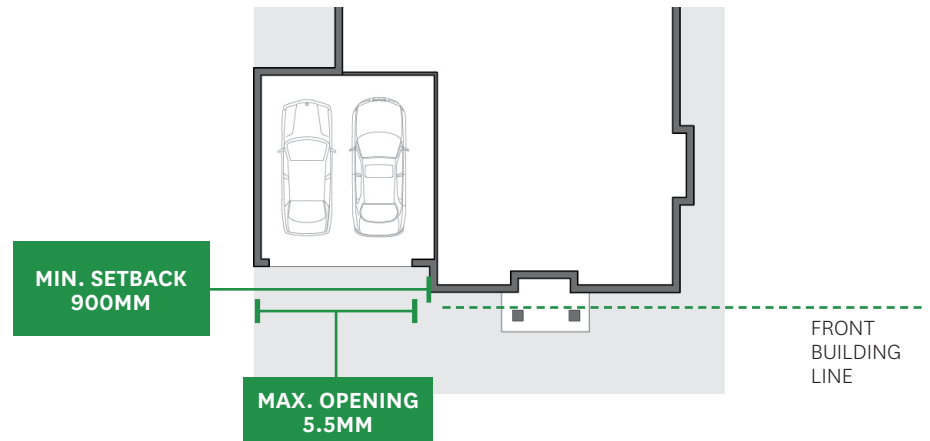
### 3.7 Garage doors

Garage doors must be:

- Panel lift;
- Sectional overhead;
- Or tilt-a-door.
- Complementary to the front facade/roof colour.

Roller doors will not be approved.

### Double Garages



# 04

## FRONT GARDEN LANDSCAPE

### 4.1 Extent of landscaping

All parts of the lot not built on or hard paved, that are visible from a front or side street or rear laneway, must be landscaped in the form of:

- Garden beds
- Turf
- Paving
- Decking

Your garden must be completed within 6 weeks of moving into your home.

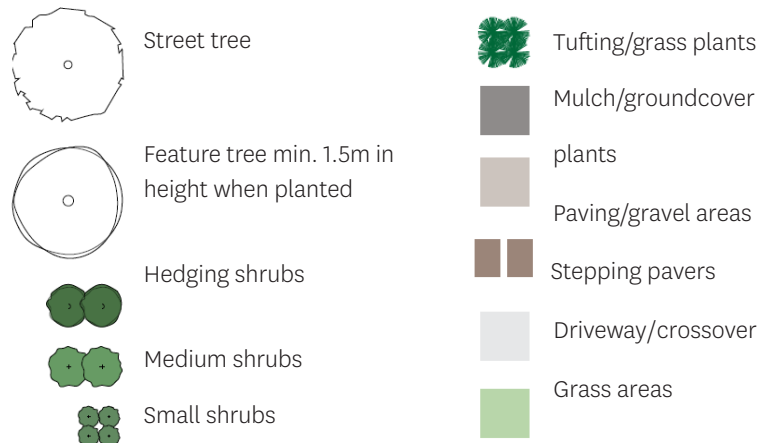
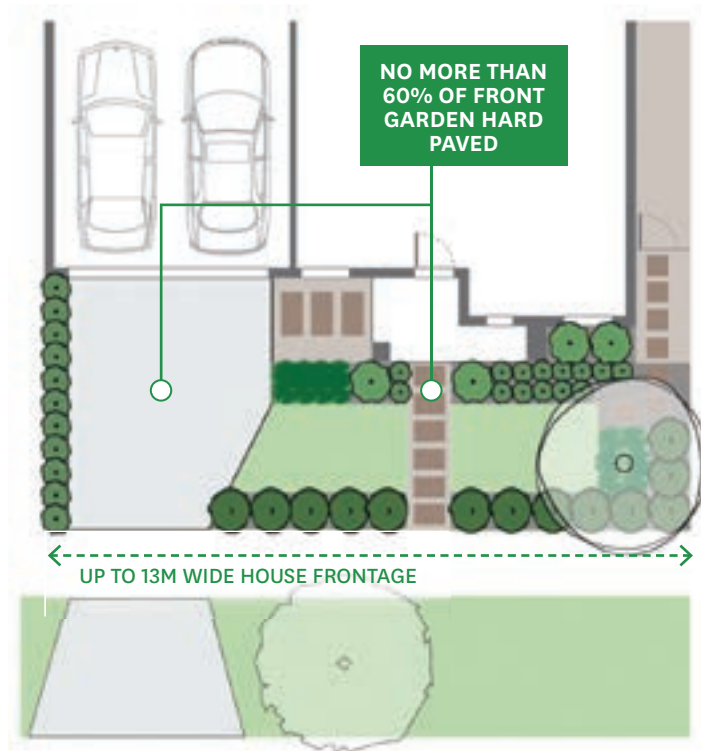
Stockland encourages you to landscape and maintain the nature strip in front of your home to contribute to the overall presentation of the community.

### 4.2 Extent of hard paving

No more than 60% of your front garden area is to be hard paved. This includes your driveway.

### 4.3 Trees in front garden

For all lots, 1 small to medium feature tree, with min. 1m in height when planted, is required.



Example proposed landscape plan

#### 4.4 Driveways

The driveway is to be shown on the house plans submitted to Stockland for approval.

The driveway must be offset a minimum of 500mm from the nearest side boundary.

Driveways must align with the crossover and be constructed in accordance with council regulations. All crossovers and driveways are to be completed prior to occupation.

Where there is an existing footpath, the footpath must be removed and driveway completed in one single pour.

Acceptable driveway materials are:

- Plain or coloured concrete
- Stamped concrete;
- Brick, slate or natural stone pavers;
- Exposed aggregate concrete.

The crossover must be finished in plain concrete (in light-grey 'standard' concrete).

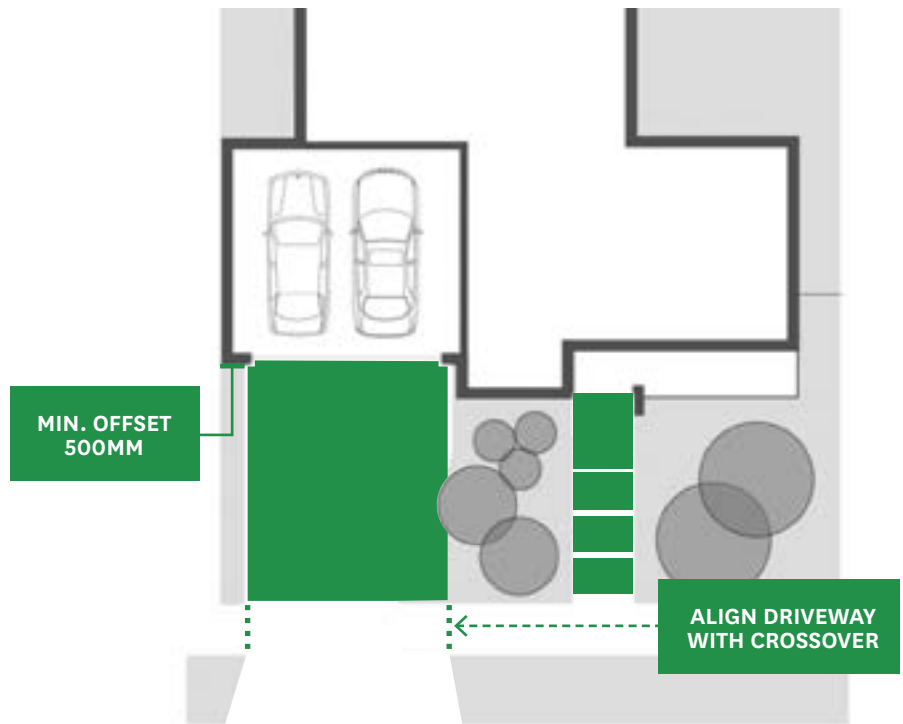
#### 4.5 Letterboxes

Your letterbox must be constructed of masonry, rendered masonry or timber and must complement the dwelling's colour scheme.

#### 4.6 Retaining walls

Where visible from the street or public realm, the vertical face of any retaining wall cannot be more than 1.2m in height, above existing ground level.

Retaining walls which abut the street must be constructed of stone or rendered masonry, in line with the village character.



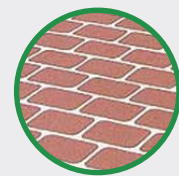
#### Driveway material choices



Stamped concrete



Coloured concrete



Brick pavers



Exposed aggregate concrete



Light-grey plain concrete



**4.7 Front Garden Prototypes**

Stockland’s landscape architects have prepared three front garden prototypes and a species list to help you get the best out of your home site.

You can use these designs and the species list as a brief for your landscaper or as a guide to do it yourself.

Each prototype responds to the local climate and context to encourage visually appealing streetscapes that protect your investment, and contribute to the neighbourhood character.

**Escarpment Garden**

The Escarpment Garden style is made up of endemic to region species with a range of textures, colours and flowers that attract native birds and insects. Planting together with informal rocks and stepping stones create a natural looking setting.

**Design Principles**

The Escarpment Garden is designed to be naturalistic with subtle seasonal displays.

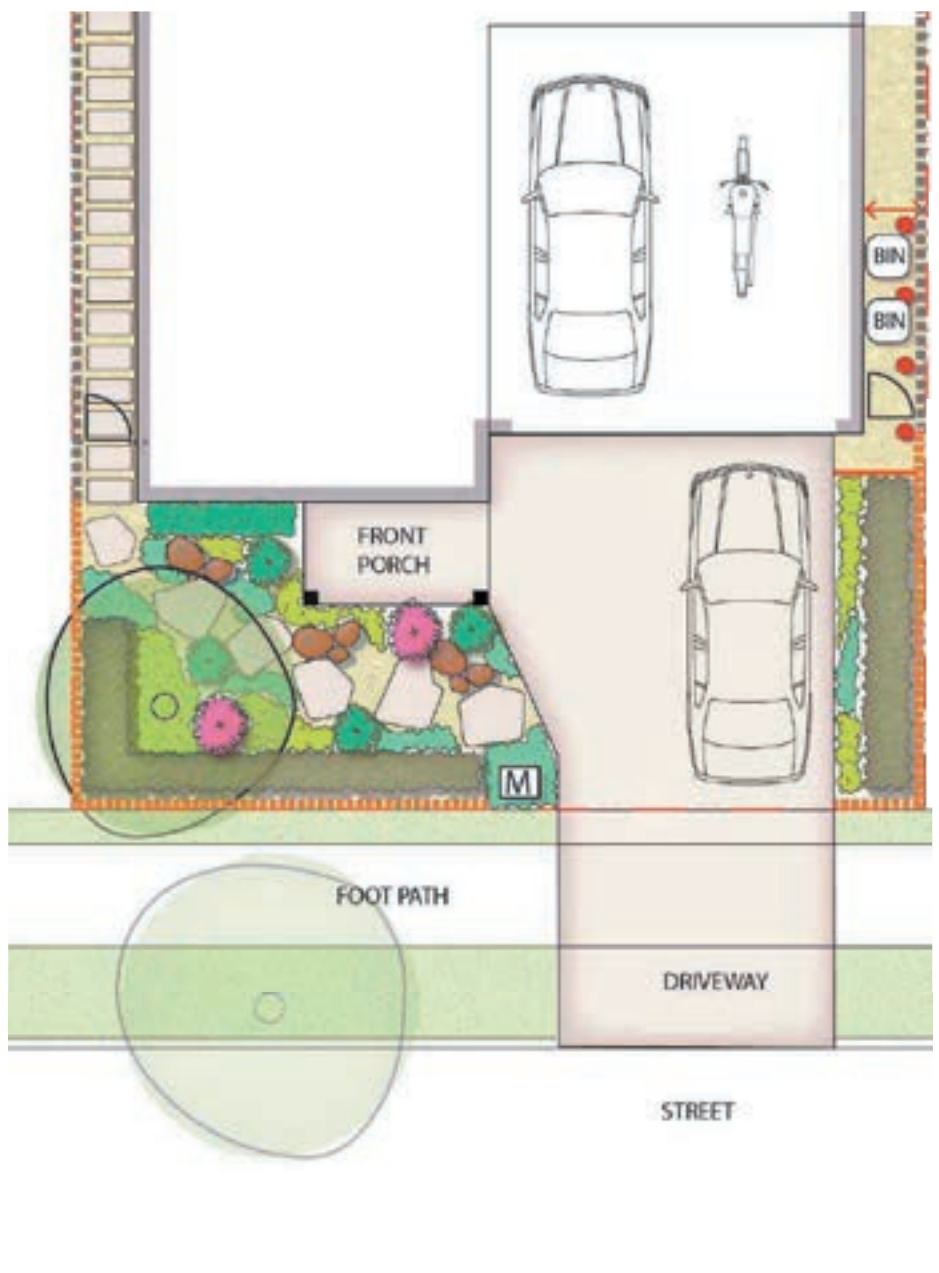
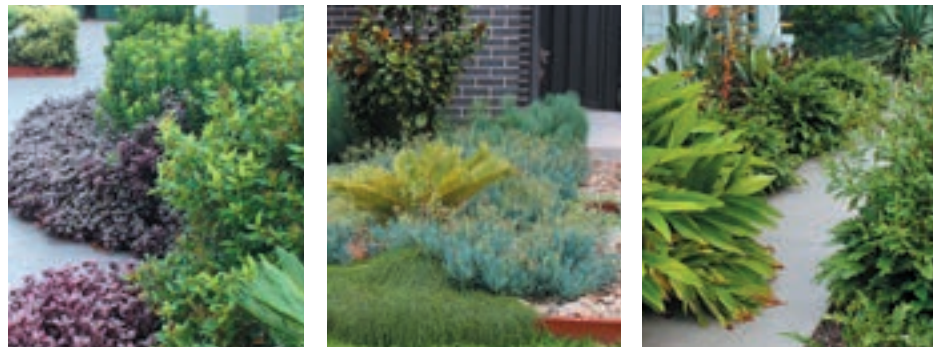
**Planting Arrangement**

Single specimen plants surrounded by random groupings of 3-5 plants per species.

**Water Usage**

Low-medium

**Escarpment Garden**



**Legend**

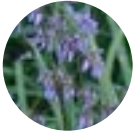
- Lot boundary
- Tree planting
- Turf
- Hedge planting 1.2m height
- Low hedge planting 0.5m height
- Massplanting 0.3-0.8m height
- Groundcover planting 0-0.3m
- Medium shrub 0.5-0.8m
- Shrub or accent planting
- Climbers
- Front fence, 1.2m HT
- Side fence 1.8m HT
- Brick garden edge
- Mailbox location
- Rubbish bin location

Use this legend to choose the plant species you would like to use from the associated list over the page. All plant sizes are height x width in metres.



## Escarpment Garden Species List

## GROUNDCOVER



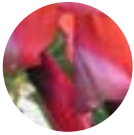
*Dianella caerulea*  
Paroo Lily  
1 x 1



*Dichondra repens*  
Kidney Weed  
0.2 x 1



*Hardenbergia violacea*  
Native Sarsparilla  
0.4 x 0.4



*Kennedia rubicunda*  
Dusky Coral Pea  
0.3 x 4



*Viola hederacea*  
Native Violet  
0.2 x 0.6

## MASSPLANTING



*Lomandra longifolia*  
Mat Rush  
0.6 x 0.6



*Microlaena stipoides*  
var. *stipoides*  
Weeping Grass  
0.3 x 0.3



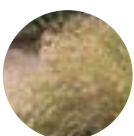
*Poa labillardieri* var.  
*labillardieri*  
Large Tussock Grass  
0.5 x 0.5



*Scaevola aemula*  
Fan Flower  
0.5 x 0.8



*Scaevola calendulacea*  
Dune Fan Flower  
0.4 x 0.7



*Themeda australis*  
Kangaroo Grass  
0.6 x 0.5

## CLIMBERS



*Hibbertia scandens*  
Climbing Guinea Flower  
0.5 x 1



*Myoporum parvifolium*  
Creeping Boobialla  
0.3 x 3



*Pandorea pandorana*  
Wonga Wonga Vine  
3-8 x 3-8

## SHRUBS



*Banksia ericifolia*  
Heath-Leaved Banksia  
1.8 x 1.8



*Banksia spinulosa*  
Hairpin Banksia  
1.5 x 1.5



*Callistemon citrinus*  
Bottlebrush  
3 x 3



*Callistemon salignus*  
Bottlebrush  
3 x 3



*Callistemon viminalis*  
Bottlebrush  
5-8 x 3-4



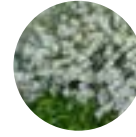
*Ceratopetalum gummiferum*  
NSW Christmas Bush  
4-5 x 2-3



*Correa alba*  
White Correa  
1.5 x 1.5



*Correa reflexa*  
Native Fuschia  
1 x 2



*Eriostemon myoporoides*  
Longleaf Waxflower  
1 x 1



*Hakea dactyloides*  
Broadleaved Hakea  
1.8 x 1.5



*Hakea laurina*  
Pincushion Hakea  
5 x 4



*Hakea salicifolia*  
Willow-Leaved Hakea  
5 x 4



*Hibiscus heterophyllus*  
Native Hibiscus  
1.5 x 1.3



*Hymenosporum flavum*  
Native Frangipani  
6 x 5



*Kunzea ambigua*  
Tick Bush  
3 x 3



*Kunzea capitata*  
Pink Kunzea  
1 x 0.5



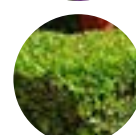
*Leptospermum* sp.  
Tea Tree



*Prostanthera incisa*  
Cutleaf Mintbush



*Prostanthera ovalifolia*  
Purple Mintbush



*Syzygium australe*  
Brush Cherry

Escarpment Garden Species List continued...



*Telopea speciosissima*  
NSW Waratah



*Westringia fruticosa*  
Coastal Rosemary



*Pittosporum multiflorum*  
Orange Thorn  
1-3 x 1.5-2.5



*Pittosporum revolutum*  
Rough-Fruited Pittosporum  
3 x 2



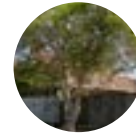
*Acmena smithii*  
Lilly Pilly  
6 x 4



*Pittosporum undulatum*  
White Pittosporum  
12 x 3



*Podocarpus elatus*  
Plum Pine  
8 x 4



*Tristaniopsis laurina*  
Water Gum  
8 x 4

ACCENT PLANTS



*Crinum pendunculatum*  
Native Crinum Lily  
2-3 x 3



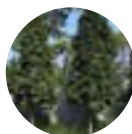
*Doryanthes excelsa*  
Gynea Lily  
1.5 x 2-4



*Alphitonia excelsa*  
Red Ash  
7 x 5



*Backhousia myrtifolia*  
Cinnamon Myrtle  
3 x 2-4



*Elaeocarpus reticularis*  
Blueberry Ash  
8 x 3

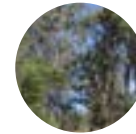
LARGE TREES (Lifestyle lots only)



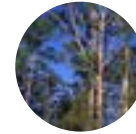
*Angophora floribunda*  
Rough-Barked Apple  
10-15 x 10



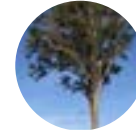
*Eucalyptus bosistoana*  
Coast Grey Box  
30 x 8



*Eucalyptus eugenioides*  
Thin-Leaved Stringybark  
12 x 3



*Eucalyptus pilularis*  
Blackbutt  
20 x 10



*Eucalyptus tereticornis*  
Forest Red Gum  
20 x 10



*Ficus coronata*  
Sandpaper Fig  
6-12 x 3-5

SMALL TREES



*Acacia maidenii*  
Maiden's Wattle  
6 x 2



*Banksia integrifolia*  
Coast Banksia  
15 x 6



*Brachychiton populneus*  
Kurrajong  
8-10 x 10



*Breynia oblongifolia*  
Coffee Bush  
2 x 3



*Myrsine variabilis*  
Muttonwood  
2 x 3



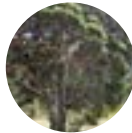
*Notelaea venosa*  
Veined Mock-Olive  
3 x 2



*Glochidion ferdinandi*  
Cheese Tree  
10 x 5



*Guioa semiglauca*  
Guioa  
6 x 4



*Melaleuca decora*  
White Feather Honey Myrtle  
10 x 5



*Melaleuca linariifolia*  
Snow in Summer  
10 x 4



*Melaleuca styphelioides*  
Prickly-Leaved Paperbark  
4-10 x 3



*Melia azedarach*  
White Cedar  
12 x 6-8

## Escarpment Garden Species List continued...

## PALMS/FERNS



*Archontophoenix cunninghamiana*  
Bangalow Palm  
25 x 3



*Asplenium australasicum*  
Birds Nest Fern  
0.8 x 1



*Blechnum nudum*  
Fishbone Water Fern  
1 x 1



*Baurea rubioides*  
Dog Rose  
1 x 1



*Cyathea australis*  
Rough Tree Fern  
8 x 3.5



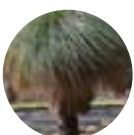
*Dicksonia antractica*  
Soft Tree Fern  
8 x 3.5



*Doodia aspera*  
Rasp Fern  
0.6 x 0.8



*Livistonia australis*  
Cabbage Palm  
20 x 5



*Xanthorrhoea australis*  
Grass Tree  
4 x 2

### Contemporary Garden

The Contemporary Garden style is made up of endemic to region species with a range of textures, colours and flowers that attract native birds and insects, carefully arranged to create visual interest.

**Design Principles**

The Contemporary Garden is designed to create visual focal points using larger stepping stones and accent plants.

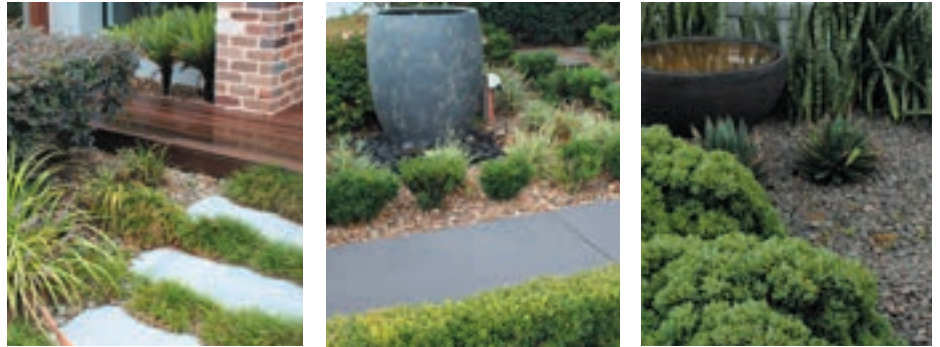
**Planting Arrangement**

Groupings of 5-8 plants. Variety of heights.

**Water Usage**

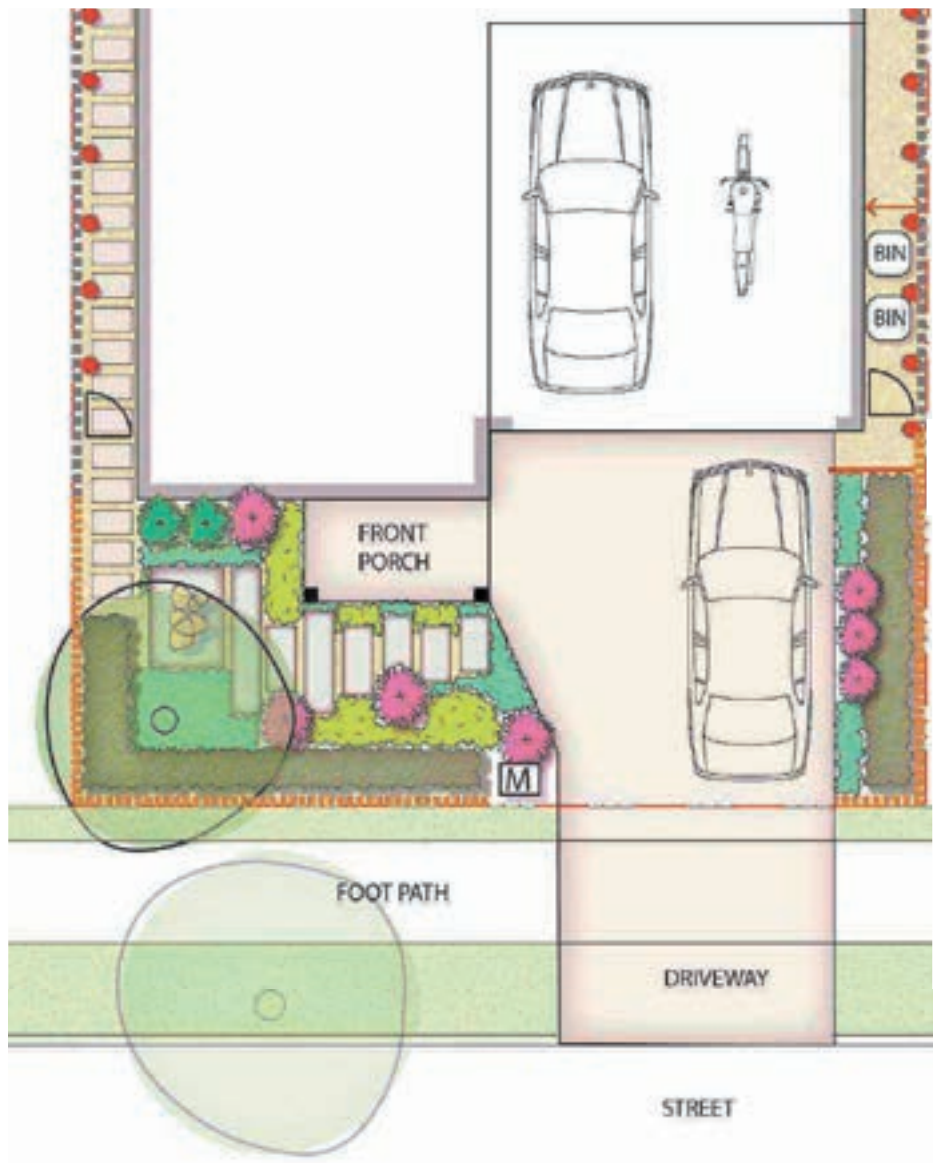
Low-medium

### Contemporary Garden



- Legend**
- Lot boundary
  - Tree planting
  - Turf
  - Hedge planting 1.2m height
  - Low hedge planting 0.5m height
  - Massplanting 0.3-0.8m height
  - Groundcover planting 0-0.3m
  - Medium shrub 0.5-0.8m
  - Shrub or accent planting
  - Climbers
  - Front fence, 1.2m HT
  - Side fence 1.8m HT
  - Brick garden edge
  - Mailbox location
  - Rubbish bin location

Use this legend to choose the plant species you would like to use from the associated list over the page. All plant sizes are height x width in metres.



0 1 2 3 4 5 6m  
SCALE 1:100 @ A3

## Contemporary Garden Species List

## GROUNDCOVER



*Carpobrotus glaucescens*  
Pig Face  
0.2 x 0.2



*Dianella caerulea*  
Paroo Lily  
1 x 1



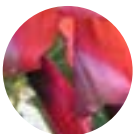
*Dichondra repens*  
Kidney Weed  
0.2 x 1



*Hardenbergia violacea*  
Native Sarsparilla  
0.4 x 0.4



*Helichrysum elatum*  
White Everlasting  
0.3 x 0.3



*Kennedia rubicunda*  
Dusky Coral Pea  
0.3 x 4



*Viola hederacea*  
Native Violet  
0.2 x 0.6

## MASSPLANTING



*Brachycome multifida*  
Swan River Daisy  
0.3 x 0.5



*Microlaena stipoides*  
var. *stipoides*  
Weeping Grass  
0.3 x 0.3



*Poa labillardieri* var.  
*labillardieri*  
Large Tussock Grass  
0.5 x 0.5



*Scaevola aemula*  
Fan Flower  
0.5 x 0.8



*Scaevola calendulacea*  
Dune Fan Flower  
0.4 x 0.7



*Themeda australis*  
Kangaroo Grass  
0.6 x 0.5

## CLIMBERS



*Hibbertia scandens*  
Climbing Guinea Flower  
0.5 x 1



*Myoporum parvifolium*  
Creeping Boobialla  
0.3 x 3

## SHRUBS



*Banksia ericifolia*  
Heath-Leaved Banksia  
1.8 x 1.8



*Banksia spinulosa*  
Hairpin Banksia  
1.5 x 1.5



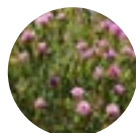
*Correa alba*  
White Correa  
1.5 x 1.5



*Correa reflexa*  
Native Fuschia  
1 x 2



*Kunzea ambigua*  
Tick Bush  
3 x 3



*Kunzea capitata*  
Pink Kunzea  
1 x 0.5



*Leptospermum* sp.  
Tea Tree



*Prostanthera incisa*  
Cutleaf Mintbush



*Prostanthera ovalifolia*  
Purple Mintbush



*Syzygium australe*  
Brush Cherry



*Telopea speciosissima*  
NSW Waratah



*Westringia fruticosa*  
Coastal Rosemary

## ACCENT PLANTS



*Crinum pendunculatum*  
Native Crinum Lily  
2-3 x 3



*Doryanthes excelsa*  
Gymea Lily  
1.5 x 2-4

## SMALL TREES



*Acacia maidenii*  
Maiden's Wattle  
6 x 2



*Banksia integrifolia*  
Coast Banksia  
15 x 6

Contemporary Garden Species List continued...



*Brachycton populneus*  
Kurrajong  
8-10 x 10



*Breynia oblongifolia*  
Coffee Bush  
2 x 3



*Myrsine variabilis*  
Muttonwood  
2 x 3



*Notelaea venosa*  
Veined Mock-Olive  
3 x 2



*Pittosporum multiflorum*  
Orange Thorn  
1-3 x 1.5-2.5



*Pittosporum revolutum*  
Rough-Fruited Pittosporum  
3 x 2



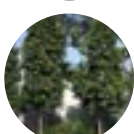
*Acmena smithii*  
Lilly Pilly  
6 x 4



*Alphitonia excelsa*  
Red Ash  
7 x 5



*Backhousia myrtifolia*  
Cinnamon Myrtle  
3 x 2-4



*Elaeocarpus reticularis*  
Blueberry Ash  
8 x 3



*Glochidion ferdinandi*  
Cheese Tree  
10 x 5



*Guioa semiglauc*  
Guioa  
6 x 4



*Melaleuca decora*  
White Feather Honey Myrtle  
10 x 5



*Melaleuca linariifolia*  
Snow in Summer  
10 x 4



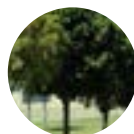
*Melaleuca styphelioides*  
Prickly-Leaved Paperbark  
4-10 x 3



*Melia azedarach*  
White Cedar  
12 x 6-8



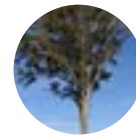
*Pittosporum undulatum*  
White Pittosporum  
12 x 3



*Podocarpus elatus*  
Plum Pine  
8 x 4



*Tristaniopsis laurina*  
Water Gum  
8 x 4



*Eucalyptus tereticornis*  
Forest Red Gum  
20 x 10



*Ficus coronata*  
Sandpaper Fig  
6-12 x 3-5

PALMS/FERNS



*Archontophoenix cunninghamiana*  
Bangalow Palm  
25 x 3



*Asplenium australasicum*  
Birds Nest Fern  
0.8 x 1



*Blechnum nudum*  
Fishbone Water Fern  
1 x 1



*Baurea rubioides*  
Dog Rose  
1 x 1



*Cyathea australis*  
Rough Tree Fern  
8 x 3.5



*Dicksonia antractica*  
Soft Tree Fern  
8 x 3.5



*Doodia aspera*  
Rasp Fern  
0.6 x 0.8

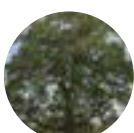


*Livistonia australis*  
Cabbage Palm  
20 x 5



*Xanthorrhoea australis*  
Grass Tree  
4 x 2

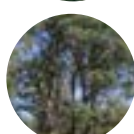
LARGE TREES (Lifestyle lots only)



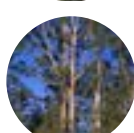
*Angophora floribunda*  
Rough-Barked Apple  
10-15 x 10



*Eucalyptus bosistoana*  
Coast Grey Box  
30 x 8



*Eucalyptus eugenioides*  
Thin-Leaved Stringybark  
12 x 3



*Eucalyptus pilularis*  
Blackbutt  
20 x 10

### Farm Garden

The Farm Garden style is made up of endemic to region species with a range of textures, colours and flowers that attract native birds and with edible food plants in traditional raised planters for vegetable and herb productions.

#### Design Principles

The Farm Garden is designed to have a traditional/formal layout to enable easy circulation and garden maintenance.













#### Planting Arrangement

Rows of productive plants and occasional accent shrub.

#### Water Usage

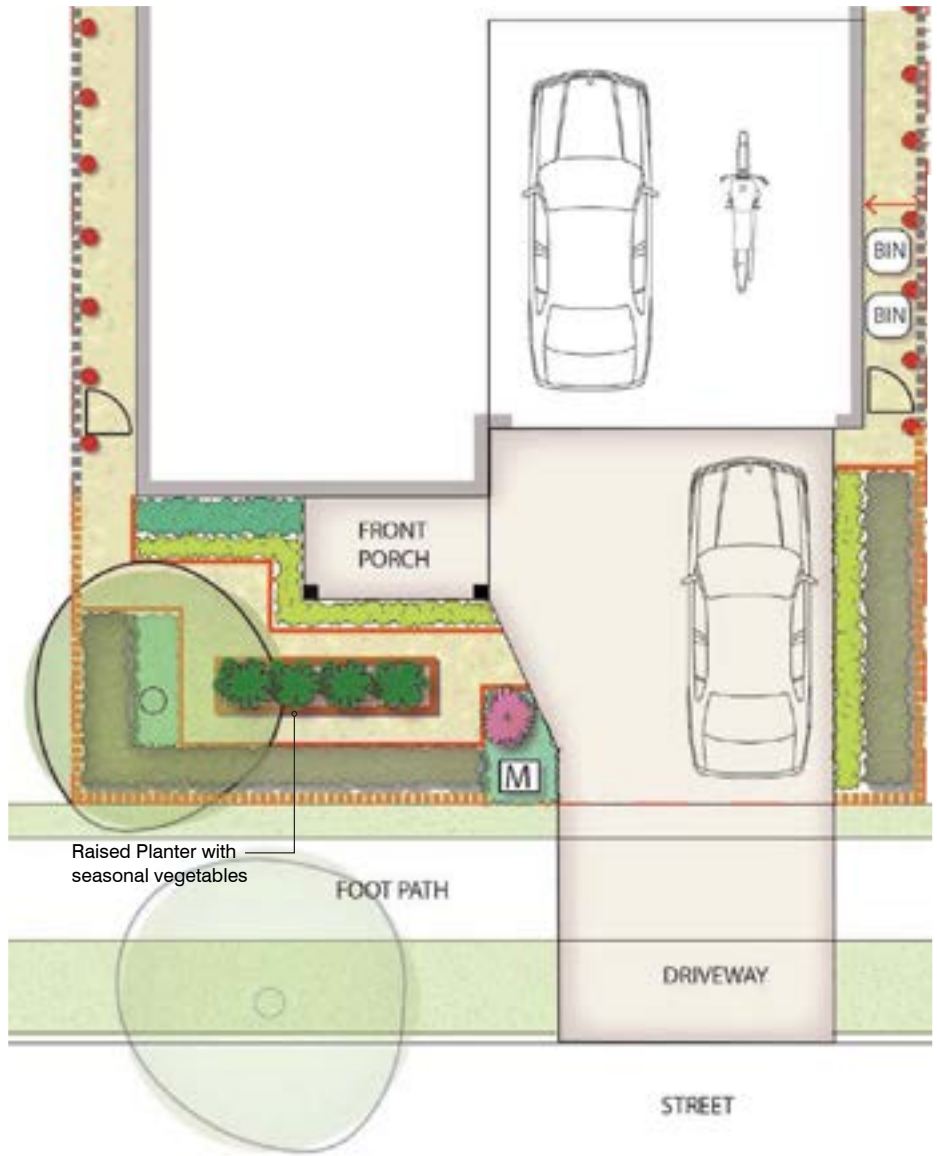
Low-medium

#### Legend

-  Lot boundary
-  Tree planting
-  Turf
-  Hedge planting 1.2m height
-  Low hedge planting 0.5m height
-  Massplanting 0.3-0.8m height
-  Groundcover planting 0-0.3m
-  Medium shrub 0.5-0.8m
-  Shrub or accent planting
-  Climbers
-  Front fence, 1.2m HT
-  Side fence 1.8m HT
-  Brick garden edge
-  Mailbox location
-  Rubbish bin location

Use this legend to choose the plant species you would like to use from the associated list over the page. All plant sizes are height x width in metres.

### Farm Garden



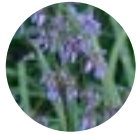
## Farm Garden Species List

 = Edible plants (used by Indigenous people for food and other uses)

### GROUNDCOVER



*Carpobrotus glaucescens*  
Pig Face  
0.2 x 0.2



*Dianella caerulea*  
Paroo Lily  
1 x 1



*Dichondra repens*  
Kidney Weed  
0.2 x 1



*Hardenbergia violacea*  
Native Sarsparilla  
0.4 x 0.4



*Viola hederacea*  
Native Violet  
0.2 x 0.6

### MASSPLANTING



*Scaevola aemula*  
Fan Flower  
0.5 x 0.8



*Scaevola calendulacea*  
Dune Fan Flower  
0.4 x 0.7

### CLIMBERS



*Hibbertia scandens*  
Climbing Guinea Flower  
0.5 x 1



*Myoporum parvifolium*  
Creeping Boobialla  
0.3 x 3

### SHRUBS



*Syzygium australe*  
Brush Cherry



*Tasmannia insipida*  
Pepper Bush



*Telopea speciosissima*  
NSW Waratah



*Westringia fruticosa*  
Coastal Rosemary

### SMALL TREES



*Acacia maidenii*  
Maiden's Wattle  
6 x 2



*Banksia integrifolia*  
Coast Banksia  
15 x 6



*Brachychiton populneus*  
Kurrajong  
8-10 x 10



*Breyntia oblongifolia*  
Coffee Bush  
2 x 3



*Myrsine variabilis*  
Muttonwood  
2 x 3



*Notelaea venosa*  
Veined Mock-Olive  
3 x 2



*Citrus reticulata*  
Mandarin  
3 x 4



*Citrus ssp.*  
Lemon  
3 x 4



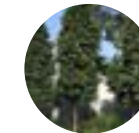
*Acmena smithii*  
Lilly Pilly  
6 x 4



*Alphitonia excelsa*  
Red Ash  
7 x 5



*Backhousia myrtifolia*  
Cinnamon Myrtle  
3 x 2-4



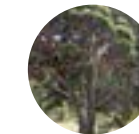
*Elaeocarpus reticularis*  
Blueberry Ash  
8 x 3



*Glochidion ferdinandi*  
Cheese Tree  
10 x 5



*Guioa semiglauca*  
Guioa  
6 x 4



*Melaleuca decora*  
White Feather Honey Myrtle  
10 x 5



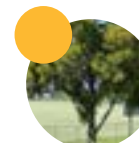
*Melaleuca linariifolia*  
Snow in Summer  
10 x 4



*Melaleuca styphelioides*  
Prickly-Leaved Paperbark  
4-10 x 3



*Pittosporum undulatum*  
White Pittosporum  
12 x 3



*Podocarpus elatus*  
Plum Pine  
8 x 4



Farm Garden Species List continued...



*Tristaniopsis laurina*  
Water Gum  
8 x 4

**LARGE TREES (Lifestyle lots only)**



*Angophora floribunda*  
Rough-Barked Apple  
10-15 x 10



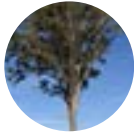
*Eucalyptus bosistoana*  
Coast Grey Box  
30 x 8



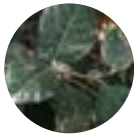
*Eucalyptus eugenioides*  
Thin-Leaved Stringybark  
12 x 3



*Eucalyptus pilularis*  
Blackbutt  
20 x 10



*Eucalyptus tereticornis*  
Forest Red Gum  
20 x 10



*Ficus coronata*  
Sandpaper Fig  
6-12 x 3-5

# 05

## FENCING AND BOUNDARIES

### 5.1 General requirements

Stockland does not provide fencing. Fencing design drawings must be submitted for approval by Stockland's Covenant Specialist before commencing construction. This includes front fencing.

### 5.2 Front fencing

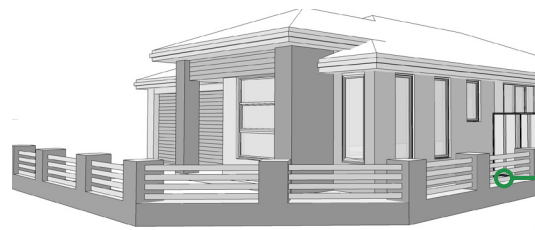
Front fences are permitted where they:

- Are constructed of rendered/moroka finished masonry piers with a 300mm high low wall, with shrub planting behind or open metal/timber infill.
- Complement the style and colour scheme of the home.
- Are no higher than 1.2m.
- Return along the side boundaries to connect back to the side fences or walls of your home. For corner lots, where there is a side street stepped fence, the front fence must return to connect to the stepped fence return.

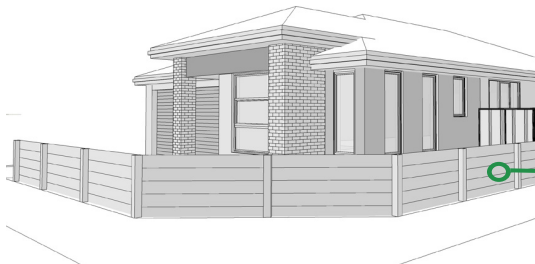
Chain mesh or chain link fencing systems will not be approved.



✓ **Front fencing complements style and colour scheme of home**



✓ **Front fence timber infill**



✗ **Front fence not transparent and does not complement the style and colour scheme of the home**

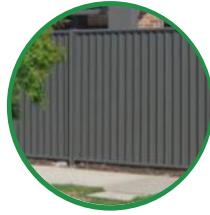


### 5.3 Mandatory side, rear and corner fencing

The following fencing standard is required:

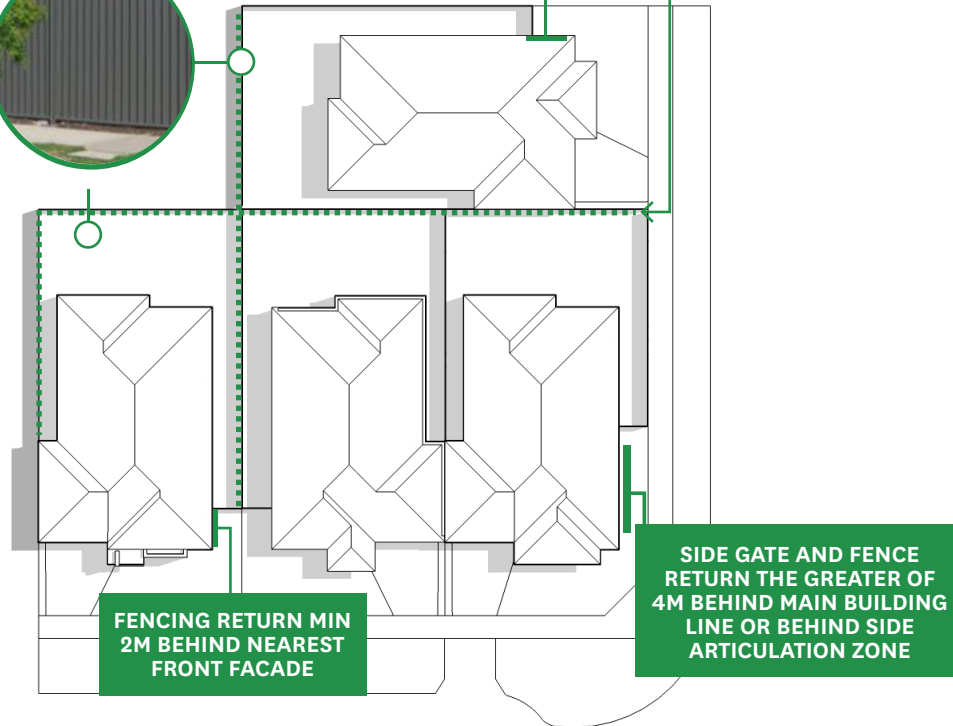
- Be constructed of 1.8m high pre-coated metal sheeting panels (eg. Colorbond) in 'Woodland Grey' colour or coloured to match.
- Acceptable fencing profiles include Lysaght's 'Neetascreen' or Stratco's 'Superdek' range, or similar profiles approved in writing by Stockland's Covenant Specialist.
- Be returned at 90 degrees to the home, to connect with the side of the home or garage wall at least 2m behind the nearest front facade.
- Continue to the front of the lot if a side boundary forms the rear boundary of an adjoining lot unless otherwise specified.
- For corner lots secondary frontage side gate and fence return must be the greater of 4m behind main building line or behind side articulation zone.

1.8M HIGH FENCE IN 'WOODLAND GREY' COLOUR OR SIMILAR



FENCING RETURN MIN 2.0M BEHIND NEAREST FRONT FACADE

FENCING CONTINUES TO FRONT



# 06

## EXTERNAL ELEMENTS

### 6.1 General requirements

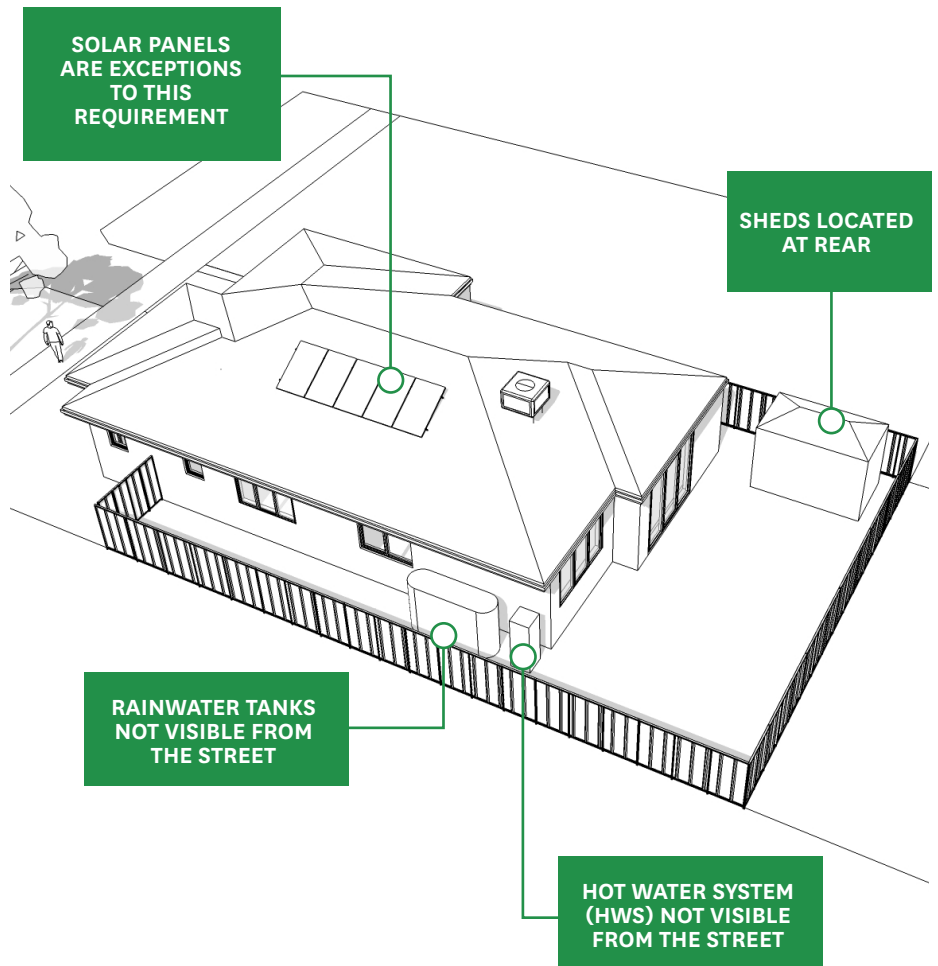
Any additions, fixtures, equipment, sheds, outbuildings or pergolas must be located to the rear of your home, out of sight from your street or any public reserve.

This includes (but is not limited to) satellite dishes, external hot water services, solar hot water systems with roof-mounted tanks, water tanks, spa pumps, heating and cooling units, rubbish disposal containers, rainwater tanks, washing lines and solar pool heating coils.

Solar panels for heating water or generating energy are exceptions to this requirement.

### 6.2 Exposed plumbing

Exposed plumbing must not be visible from the front or side street or neighbouring public reserves. This excludes gutters and downpipes.



### 6.3 Presentation and maintenance of your property

An owner/builder must not permit, cause or authorise any damage to any adjoining lot and/or any other part of the Forest Reach community, including but not limited to footpaths, kerb and channel, roadways and/or landscaping.

Where such damage occurs and Stockland is required to undertake repairs and rectifications, the owner/builder of the lot will be responsible to pay the cost of these works. Your property must be kept in a clean and tidy state at all times. Silt fences and rubble driveways are in place and must be maintained during the total construction of your home. Where rubbish, soil and grass cuttings are washed or blown from your lot and Stockland determines it is necessary to remove this rubbish, you will be responsible to pay for the cost of the removal. The owner/builder must maintain an industrial waste bin or fully wrapped cage bin on site at all times. The bin is to be established on site as soon as construction has commenced. This waste bin must be regularly emptied and must be covered when full so no material escapes the waste bin. The site must be cleared of any rubbish or building material on a daily basis with this rubbish and building material placed into the waste bin each afternoon when building activity has finished for the day. No excavated material, rubbish or dumping shall be placed on any adjoining lot, private or public area within Forest Reach.

For vacant lots that have been sold and settled, the individual owner is responsible for the presentation of the lot. Should excavated material or rubbish be dumped upon the lot, the owner is to address this directly with the adjoining owners/builders. When the home is constructed, the owner is responsible for maintaining the front and secondary street frontages. All turf and garden areas are to be kept mowed and maintained.

# 07

## ENVIRONMENTAL SUSTAINABILITY

### 7.1 Energy efficiency & lighting

- All dwellings are encouraged to be designed and built to achieve reductions in greenhouse gas emissions in line with the relevant government regulations.
- It is encouraged that all internal light fittings such as downlights, pendants, wall mounts etc allow for compact fluorescents or LED.
- External light fittings must not result in excessive light spill.

### 7.2 Passive design

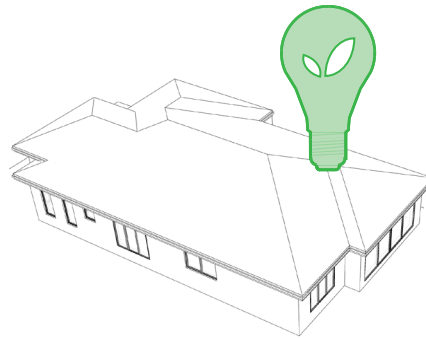
- Locate indoor and outdoor living spaces to the north of the dwelling to facilitate solar access in winter months.
- Where possible, provide adequate shading such as retractable shading devices, trees, tinted glass etc to prevent significant summer solar heat gain.
- Where possible, locate private open space on the north side of the allotment and avoid being located along a primary frontage.
- If possible, zone dwelling layout to enable main living areas to be separately heated and cooled.

### 7.3 Water efficiency

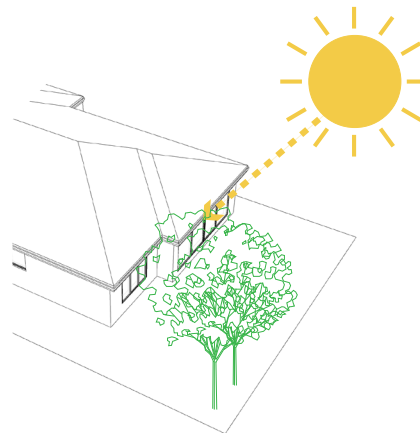
- All dwellings are encouraged to be connected to a rainwater tank for garden watering and car washing.
- Where a purple pipe recycled water system is in operation you will be required to connect for other purposes such as toilet flushing and washing machine supply.

**Reducing energy, waste and water needs and usage, increasing comfort and reducing running costs for homeowners.**

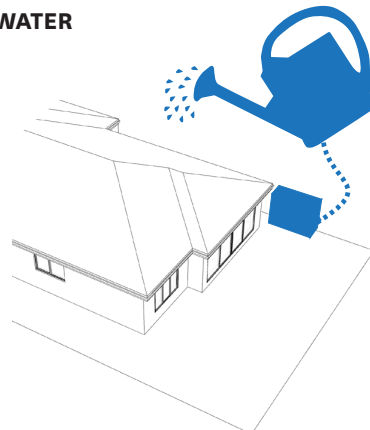
#### LED



#### NORTH



#### WATER







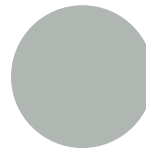

# **ROOF MATERIAL & COLOUR PALETTE**

# ROOF MATERIAL & COLOUR PALETTE

The colour and finish options selected in the colour palette are pre-endorsed selections. Other selections that are within the same colour tonal ranges of the palettes below will be considered for approval.

## Colorbond



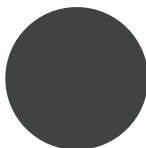

### Light

-   
• Dover White  
SA 0.28
-   
• Surfmist  
SA 0.33
-   
• Southerly  
SA 0.40
-   
• Evening Haze  
SA 0.43
-   
• Shale Grey  
SA 0.44
-   
• Dune  
SA 0.48

### Medium

-   
• Windspray  
SA 0.60
-   
• Gully SA  
0.64
-   
• Jasper  
SA 0.67
-   
• Bassalt  
SA 0.67
-   
• Wallaby  
SA 0.64

### Dark

-   
• Ironstone  
SA 0.73
-   
• Monument  
SA 0.73
-   
• Woodland Grey  
SA 0.70
-   
• Deep Ocean  
SA 0.74

\*A roof with a lower solar absorptance will reflect more heat than a roof with a higher solar absorptance, and will keep the roof space and dwelling cooler on a hot day


<https://www.basix.nsw.gov.au/>  
Colours and ratings current at time of publication

## Monier Roof Tiles

### Light

-   
• Salt Spray

### Medium

-   
• Wild Rice

### Dark

-   
• Barramundi
-   
• Babylon
-   
• Camelot
-   
• Wollemi
-   
• Aniseed
-   
• Caraway
-   
• Silver Perch



# DESIGN APPROVAL CHECKLIST

# DESIGN APPROVAL CHECKLIST

---

## Site plan

1:200 or 1:100 scale

---

- Existing and proposed contours
  - Proposed floor levels
  - All setback dimensions to boundaries
  - Fencing (incl. dimensions of fence return setbacks, stepped fencing, side street boundary fencing, etc)
- 

## Floor plan

1:100 scale

---

- Internal layout
  - Dwelling areas
  - Dimensions (including setbacks, articulation, porch, etc)
  - Ancillary fixtures and equipment (eg. rainwater tanks, hot water systems, etc)
- 

## All elevations

1:100 scale

---

- External materials and colours
  - Proposed floor levels and building heights from natural ground level
  - Eave dimensions
  - Roof pitch
  - Sheds, outbuildings, pergolas, etc
- 

## Sections

1:100 or 1:50 scale

---

- Built form and natural ground level
  - Site cut/fill
  - Ceiling heights
  - Retaining walls
- 

## External materials & colours schedule

---

- Wall cladding material and colour
  - Roof material and colour
  - Gutters, fascias, downpipes colour
  - Window and door frames colour
  - Decks, verandahs, etc
  - Fencing material and colour
  - Driveway material and colour
- 

## Landscape plan

1:100 scale

---

- Plant list, including species and sizes
  - Front fencing details, material and colour
  - Driveway material and colour
  - Paving or hardscape material and colour
  - Retaining walls
- 

An approval issued under these Design Essentials is not an approval under the requirements of the Building Act, or any other Act or Regulation. The documents provided have not been checked for compliance with structural, health, or planning requirements, or for the suitability of the building for the use to which it may be intended. Accordingly, Stockland Development Pty Limited, its Architects, and/or its employees or representatives do not accept responsibility for the suitability or soundness of construction of the completed building of the associated site development works.

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.....

**Stockland Forest Reach  
Sales & Information Centre**

399 Bong Bong Road,  
Huntley NSW 2530

**Stockland Development Pty Ltd**

Level 25,  
133 Castlereagh Street,  
Sydney NSW 2000, Australia  
E: [design@stockland.com.au](mailto:design@stockland.com.au)  
P: (02) 9035 2000

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**Stockland**



**Forest Reach**

Contact us  
[design@stockland.com.au](mailto:design@stockland.com.au)