

Place your business in an enviable position



Now
leasing

Willawong Distribution Centre

Gooderham Road
Willawong Qld 4110



Building 3, Stage 2.



Introducing Willawong Distribution Centre

Stockland is proud to offer a selection of exciting leasing opportunities at one of our newest Queensland projects Willawong Distribution Centre, with the flexibility to be tailored to your business needs.

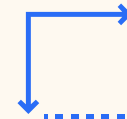
The 20 hectare estate comprises ~100,000sqm of prime warehousing space. Stages 1 to 3 are complete with stages 2 and 3 achieving a 5 Star Green Star rating. A further two warehouses will accommodate ~45,000sqm*.

The estate benefits from its excellent connectivity to local and regional markets, only 19km from the CBD and located midway between the Logan Motorway to the south and the Acacia Ridge Rail Marshalling Yards to the north.

Estate highlights



Flexible options available to suit your current and future requirements



A 22ha level, compacted and flood-free development site zoned for general industrial use with potential for 24/7 operation^



Direct access to B-double approved routes to all major arterials



Centrally located with easy access to Acacia Ridge Rail Yards, Beaudesert Road and Logan Motorway

*Approximate and subject to authority approvals.



Please note the boundary is indicative only, and the landscape is subject to change.

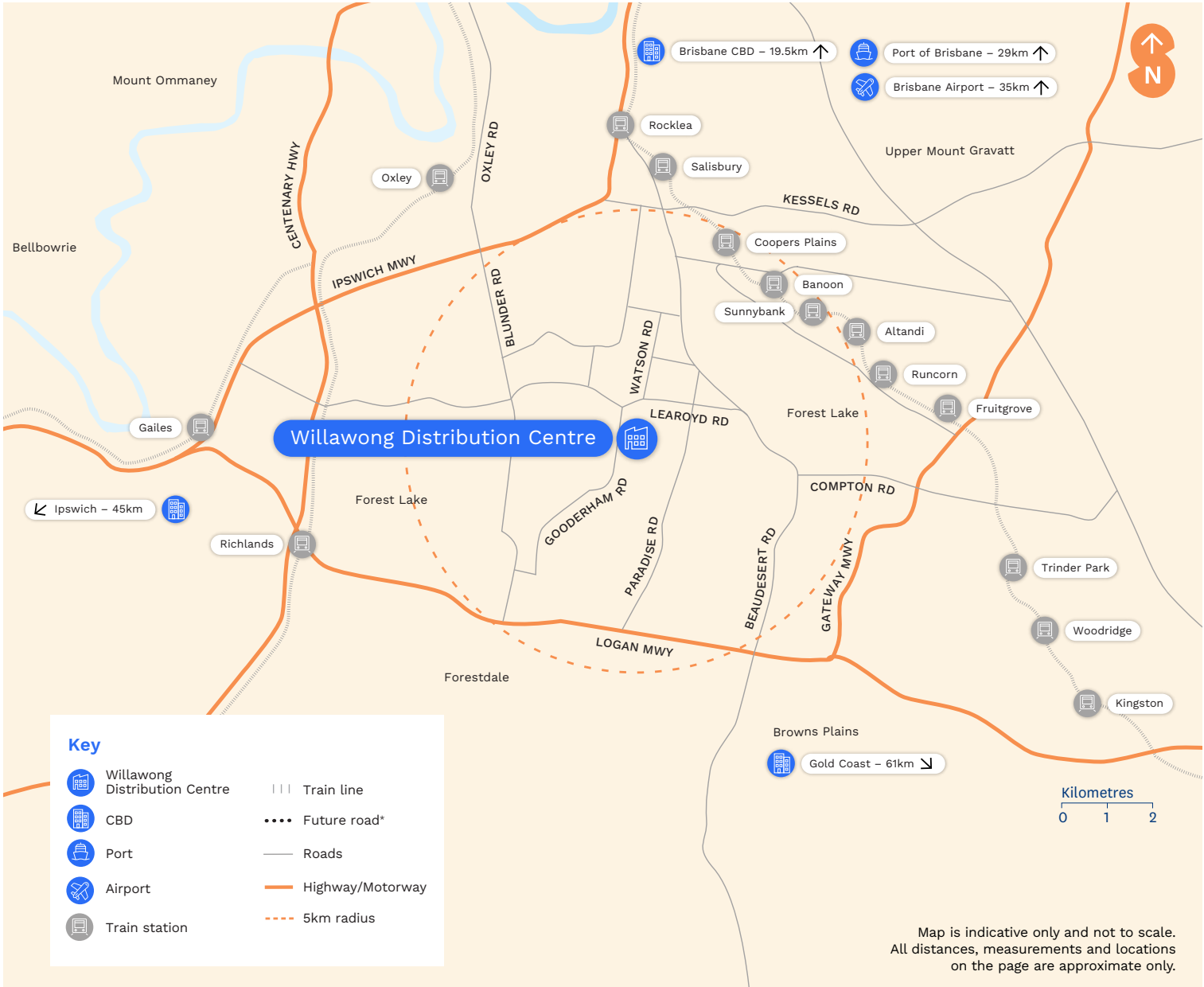
Location



Willawong Distribution Centre is centrally located within Brisbane South Industrial Precinct. This location benefits from ease of access to major road arterials and close proximity to the Acacia Ridge intermodal freight terminal.

Distance from key locations*

	Motorway 5km
	Brisbane Airport 35km
	Brisbane CBD 19.5km
	Port of Brisbane 29km
	Ipswich 45km
	Railway Station 5km



Map is indicative only and not to scale. All distances, measurements and locations on the page are approximate only.

*Approximate.



Willawong Distribution Centre provides a rare opportunity to lease a modern high-spec warehouse and office in Willawong.

Estate highlights

- Prime Brisbane Central South location
- GLA of 6,759sqm for Warehouse 1.3
- Zoned Medium Impact Industrial; suitable for both warehousing and light manufacturing
- 24/7 internal operations – 7am to 10pm external operations*
- Internal warehouse height from 10.2m*
- Extensive all-weather awnings with exclusive fenced yard area*
- Close proximity to Acacia Ridge Rail Freight Terminal, Beaudesert Road and Logan Motorway
- Highly competitive leasing deals available

*Approximate.





Stage 1, Warehouse and office 1.1.

Willawong Distribution Centre – Warehouse 1.3



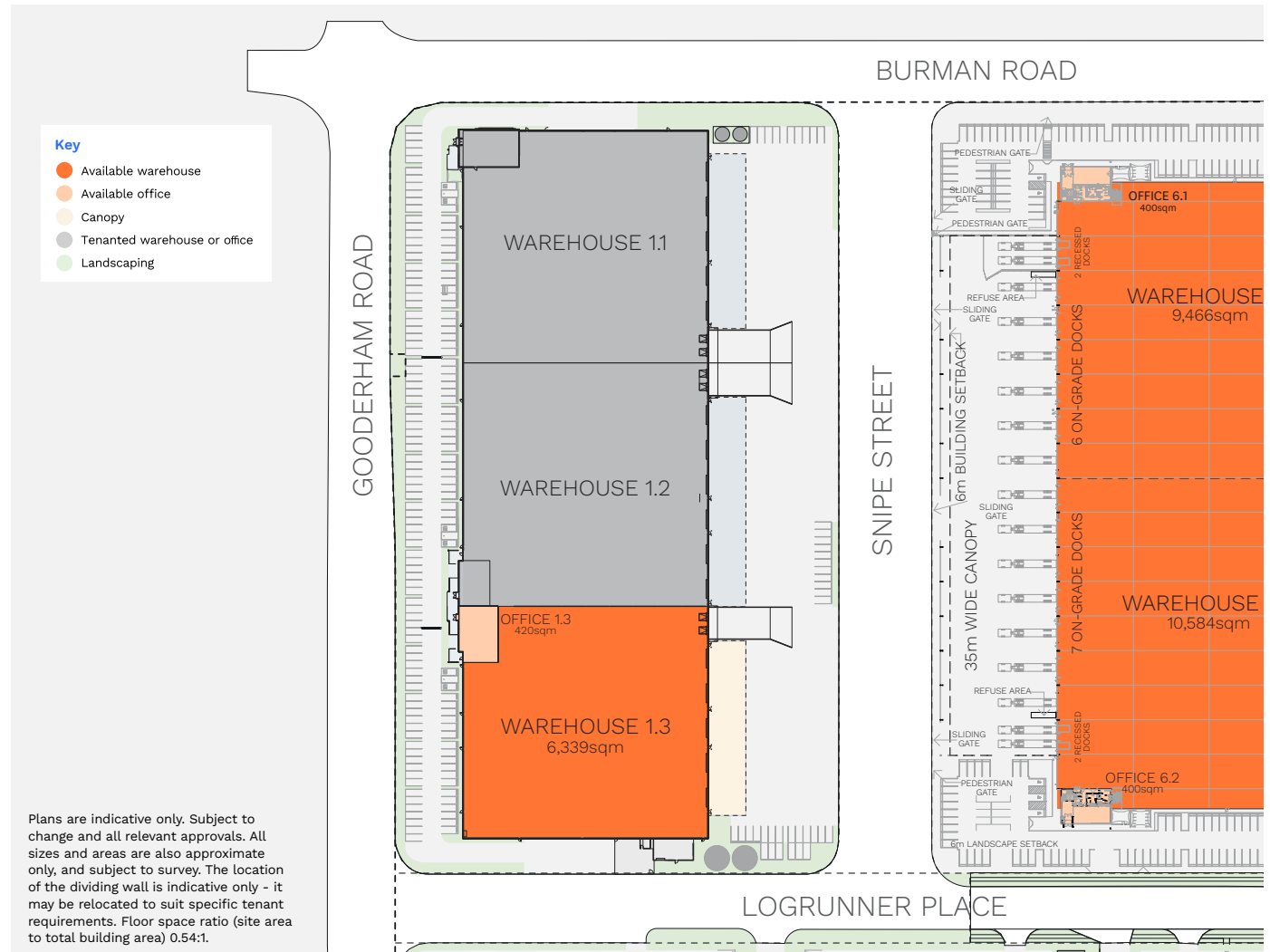
Willawong Distribution Centre represents Stockland's largest logistics estate in South East Queensland with stage 1 featuring exclusive-use hardstand areas and multiple on-grade roller doors with 12m cantilevered all-weather awnings. Contact our Stockland team to discuss pre-leasing opportunities further.

Area schedule*

Tenancy	Warehouse 1.3
Office area	420sqm (2 floors)
Warehouse area	6,339sqm
Total area	6,759sqm
Car parking	60 cars
At-grade roller doors	6 doors
Sunken docks	2 docks
Awning (roller doors)	12m wide
Awning (docks)	3m wide
Hardstand	40m wide*
Min. springing height	10.2m
Max. ridge height	12.4m

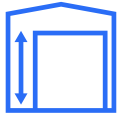
*Approximate and subject to authority approvals.

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Key features



Clearance heights

Minimum internal clearance 10.2m*
Maximum ridge height 12.4m*



Operating hours

24/7 internal operating hours permitted; 7am to 10pm external operating hours permitted*



Sprinklers

ESFR sprinkler system with K32 heads



Awning

Up to 12m cantilevered awnings for all-weather loading*



Internal Slabs

Minimum 6.0 tonne point load and 35 kPa UDL



Parking

Warehouse 1.3 - 60 spaces*



Hardstand

Exclusive-use fenced hardstand*



Signage

Corporate estate signage and wayfinding in place



Offices

Corporate two-level offices with kitchenette and amenities



*Approximate.



All-weather cantilevered awnings.



High-bay warehouse minimum 10.25m springing height.



Office 1.1.



Office 1.3.

Photographs of Stage 1, as at February 2019.



Warehouse and Office 11.



High-bay warehouse minimum 10.2m springing height.



Office 11.



All-weather cantilevered awnings.

Photographs of Stage 1, as at February 2019.



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High tenant engagement with 87% overall customer satisfaction with Stockland in Workplace & Logistics†



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Minimum commitment of 4 star Green Star and NABERS in commercial property CP developments



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Dow Jones Sustainability Indices
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To find out more about Stockland, please visit our website - stockland.com.au

^Net Funds Employed (NFE). Excludes WIP and sundry properties of \$0.5bn and asset held by the Corporation Stockland Harrisdale, WA. Includes NFE of: Masterplanned Communities \$2.3bn, Land Lease Communities \$0.5bn and other assets \$0.3bn.
*Forecast end value on completion. #Includes M_Park Stage 1, owned in capital partnership with Ivanhoe Cambridge, at 100% share. Correct as at 31 December 2022. †As at 31 December 2022. Stated overall customer satisfaction measuring 7-10 score.

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