



THE AVENUES DESIGN ESSENTIALS



Stockland



AURA

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THE COMMUNITY VISION

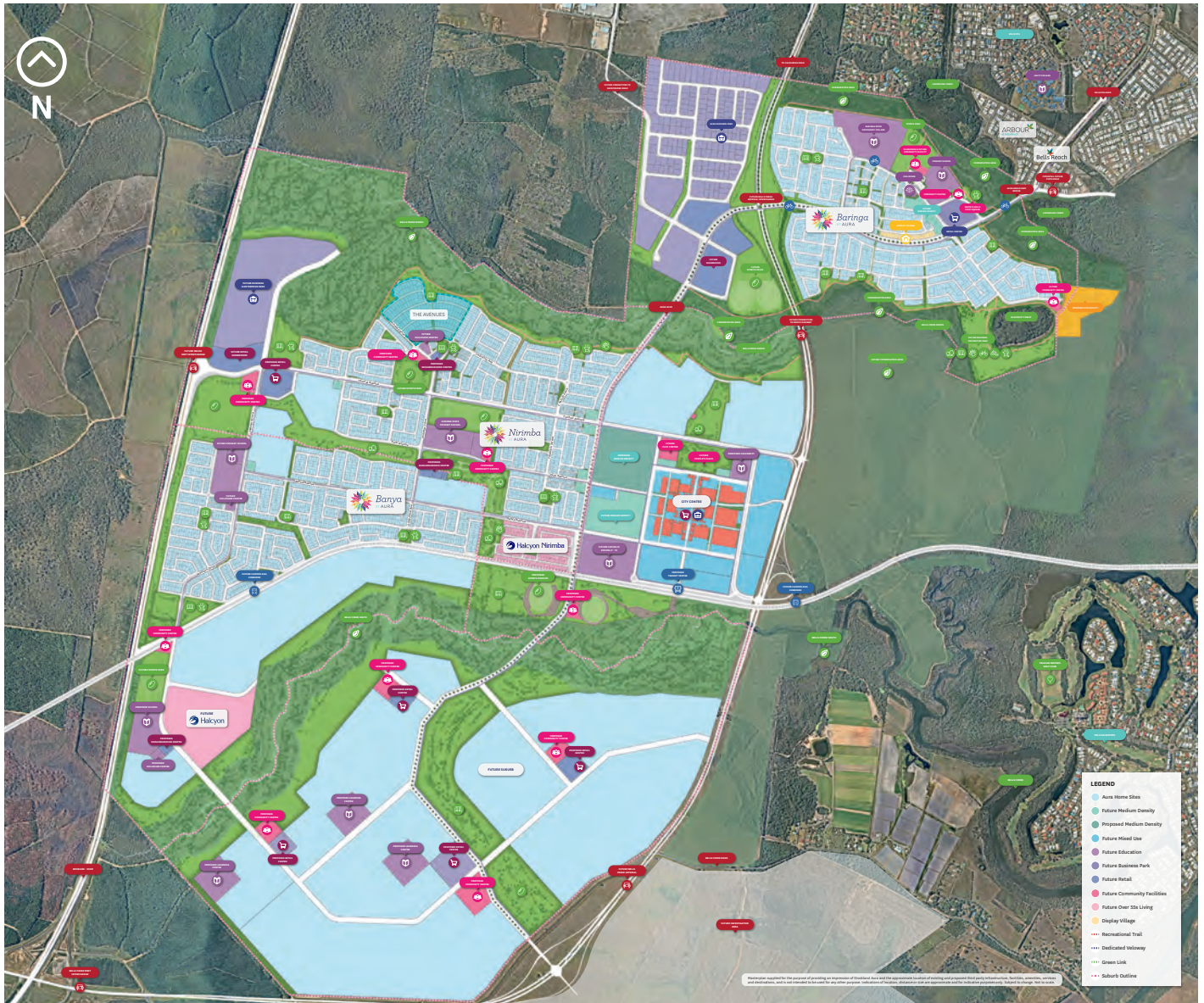
The vision for The Avenues at Aura

Enjoy the finer things in life at The Avenues and elevate your everyday into something special. Living at Aura means having everything at your fingertips: schools, shopping, parks, playgrounds, cycleways, sports fields, entertainment and employment opportunities. Aura also provides a wide range of market-leading housing choices in a variety of community settings.

The Design Essentials outlined in this document allow the implementation of key design principles to deliver a strong sense of place and community.

Aura provides an incomparable range of lifestyle choices, providing an outstanding place set in the signature landscape with memorable landmarks where people will love to live. A place that people will be proud to call home.

AURA MASTERPLAN



DISPLAY VILLAGE / SALES OFFICE

Aura Sales & Vision Centre
Aura Display Village

SHOPPING AND AMENITIES

Stockland Baringa offering supermarket, tavern, specialty shops, medical, dental and swim school
City Centre with future retail, dining and entertainment centres
Future neighbourhood centres with cafes and specialty shops
Caloundra CBD - 7.5km

EDUCATION

Baringa State Primary School
Baringa State Secondary College
Goodstart Early Learning Centre in Baringa
Nirimba State Primary School
Future early learning centre in Nirimba
Future P-12 Catholic school in Aura City Centre
2 proposed P-12 private schools
3 proposed state primary schools
1 proposed state high school
Proposed urban university
3+ proposed early learning centres

COMMUNITY CENTRES

Future civic centre
7 proposed community centres
Sporting clubhouses at all sports fields

ENTERTAINMENT

City Centre with future retail, dining and entertainment centres
Proposed cultural precinct
Baringa Tavern
Caloundra CBD - 7.5km

PARKS AND OPEN SPACES

A neighbourhood park within 400m of each home in Aura
11-hectare civic parkland
Caloundra beaches - 7km

REGIONAL AND NEIGHBOURHOOD SPORTS FIELDS

Regional and neighbourhood sporting facilities

ENVIRONMENTAL

Future 400-hectare conservation area
Lamerough Creek Reserve
Blackbutt Forest
Bells Creek North & South
Pumicestone Passage - 7km

BUSINESS

Aura Business Park
City Centre with future commercial and business centres
Caloundra CBD - 7.5km

VELOWAY AND WALKING PATHS

200km of future dedicated bike veloways, bike paths and pedestrian pathways throughout Aura

PUBLIC TRANSPORT AND ACCESS

Bells Creek Arterial to Caloundra Road, with future extension to the Bruce Highway
Proposed transit centre in the City Centre
Route 606 Bus Service
Proposed CAMCOS rail line
Sunshine Coast Airport - 32km
Brisbane CBD - 92km
Brisbane Airport - 88km

MEDICAL

Proposed medical centre in the City Centre
Aura Family Doctors, Dentists and allied health services in Baringa
Sunshine Coast University Hospital - 11km
Sunshine Coast University Private Hospital - 10.8km
Bellvista Family Medical Practice - 2.2km

BACKGROUND

Stockland's commitment and objectives

Stockland's commitment to you is to encourage quality urban design and development, to deliver a better way to live. Stockland's objective is to create a quality living environment that is centred around a strong sense of community, and provide a variety of homes to suit a range of lifestyles.

It is important that the design of your home is in keeping with the Design Essentials outlined in this document. They have been created to:

- Encourage visually appealing and cohesive streetscapes that protect your investment
- Promote environmentally responsive development
- Help you get the best out of your homesite
- Outline the process to get your home approved
- Assure you that everyone will contribute to achieving a strong neighbourhood character and standard of housing
- Promote a contemporary approach to design that responds to the local climate and context, and 'The Community Vision'.

DESIGN APPROVAL

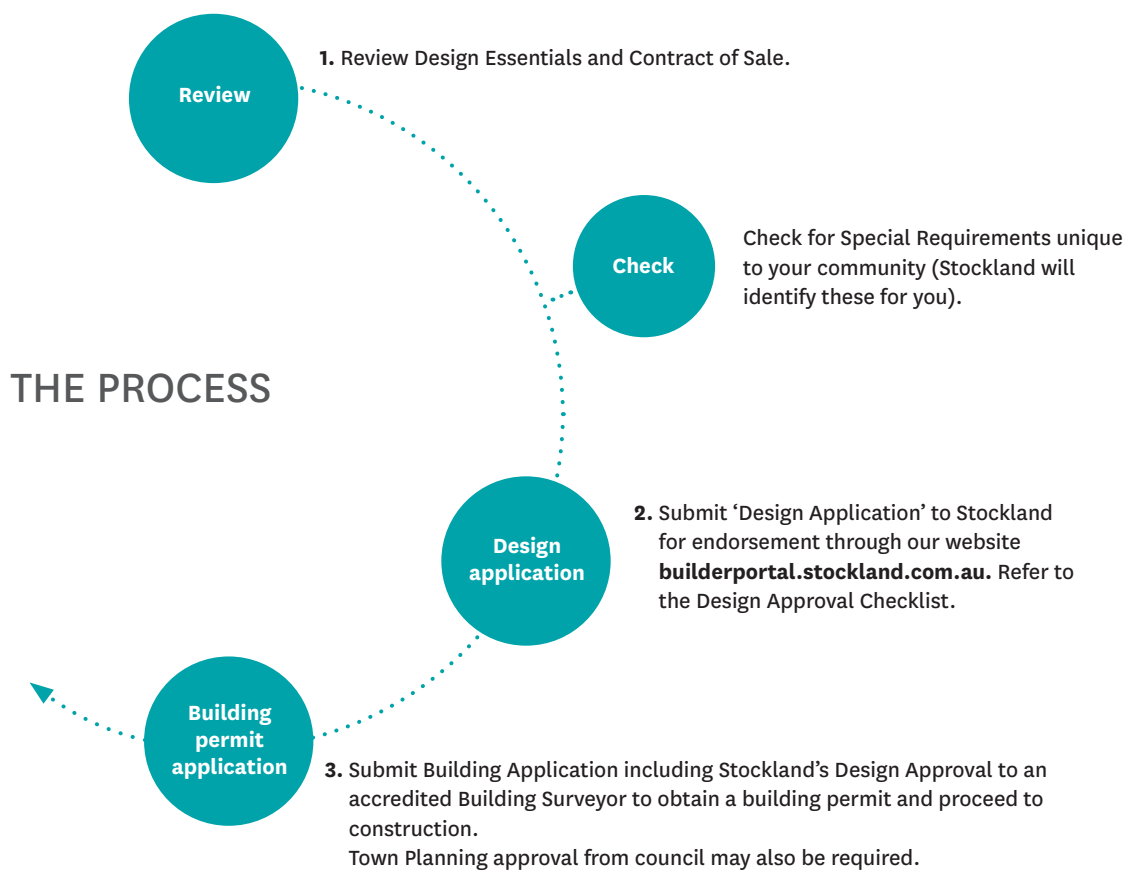
Submission requirements

In order to build, you must apply to and have an application package approved by Stockland's Covenant Specialist. Design Approval by Stockland does not constitute development or building approval or compliance with building regulations. Upon obtaining Design Approval from Stockland, a building approval must be obtained from the local council or a private Building Certifier before construction can commence.

The process

Stockland's Covenant Specialist will endeavour to assess proposals in the shortest possible time, generally within ten business days of receiving all required information for the application. Approved plans will be stamped approved, copied and returned to the applicant or their agent. The progress of the home and landscape construction will be monitored by Stockland to ensure that it conforms with the approved design.

All requests for comment from Stockland's Covenant Specialist, or any other queries, should be directed to the Stockland Covenant Specialist.



THE DESIGN ESSENTIALS

01

SITING AND SERVICING YOUR HOME

1.1 Minimum setbacks

All minimum setbacks must be as per the Plan of Development Setbacks Table contained within the Plan of Development (POD) provided by Stockland in your contract of sale.

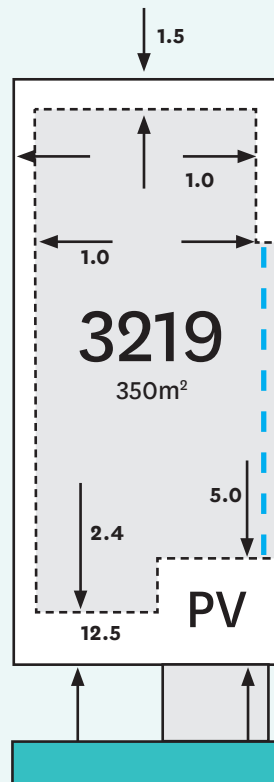
Please note: All setbacks are measured to the wall.

Build to boundary walls are to have a maximum length of 15m or 50% of the length of the the lot depth (whichever is greater) and a maximum height of 3.5m.

1.2 Surrounding services

House construction and site works must not impact, damage or alter the surrounding levels of services installed within the council verge. If any works (such as filling or landscaping) result in the need for a service to be rectified by Stockland or utility provider, this rectification cost will be passed on to the property owner.

Example of Building Envelope Plan contained within your contract of sale.



Legend

V	Villa lot
PV	Premium villa lot
C	Courtyard lot
T	Traditional lot
—	Proposed lot boundary
—	Mandatory built to boundary wall
- - -	Optional built to boundary wall
- - -	Building location envelope (BLE)
□	Indicative driveway location
□	Second driveway location for duplex
3.0	BLE setback dimension
▲	Corner lot truncation setback applies
+	Dual occupancy opportunity [^]
■	Collector streets
■	Access streets
■	Rain garden

[^]Different boundary setbacks and controls apply to multiple residential (Duplex) lots.

02

THE STYLE OF YOUR HOME

Choosing a home style that fits in with your neighbourhood

2.1 Home style

Your home design must reflect a contemporary design keeping with the other homes in your street.

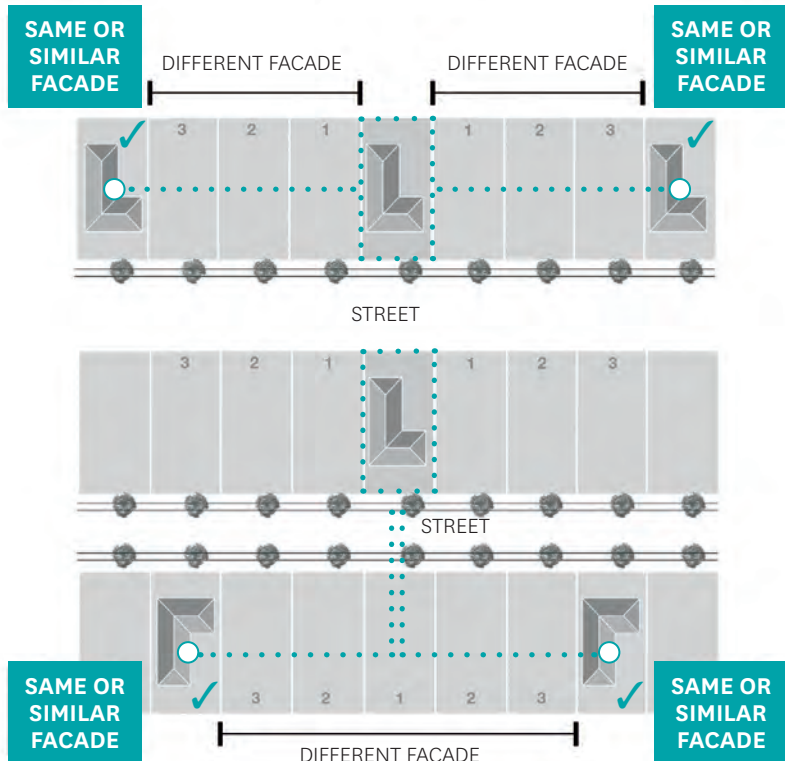
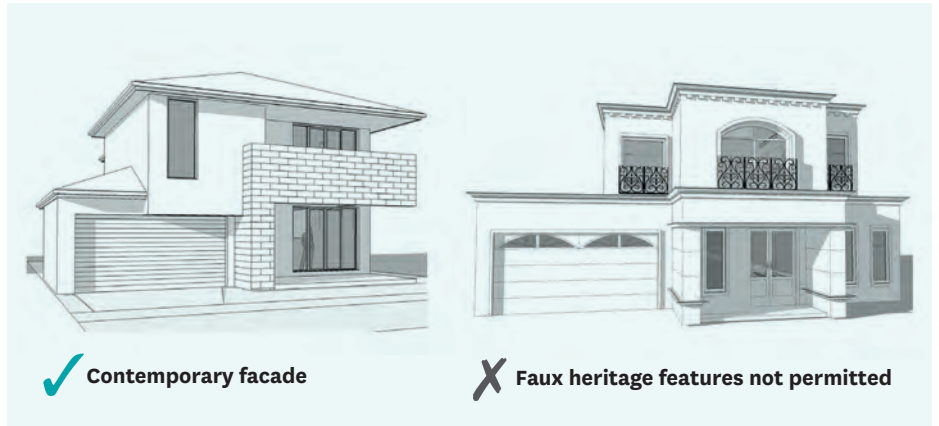
Faux heritage, standard hipped roof styles and dual living homes will not be permitted. Hipped roofs on double storeys will be approved based on architectural merit of the design.

2.2 Duplexes

Duplex designs and dual living are not permitted at The Avenues at Nimba.

2.3 House design separation

There is to be no repetition of the same front facade within three (3) houses either side of a home and the equivalent on the opposite side of the street across from a home.



2.4 Roof forms

Roofing must be of a scale, colour and form representative of contemporary Queensland architecture.

- Roof profiles can be skillion, flat, hipped or gable.
- Standard hipped and gable roof profiles are not permitted on single storey homes.
- All hipped and gable roofs on double storey homes must have a minimum pitch of 22.5 degrees.
- Where a skillion roof design is proposed it is preferred that there are two roof planes with pitches of 10-15 degrees.
- Where a parapet is proposed it must conceal the gutter line both at the front and to the side of the home.

2.5 Single storey requirements

Flat, parapet and skillion roofing are permitted on single storey homes.

A standard hipped and gable roof is not permitted on a single storey home.

A Hamptons-style roof will be permitted with the following requirements:

- A minimum of 2 gables occupying at least 70% of the facade frontage (measured eave to eave).
- A minimum roof pitch of 22.5 degrees.

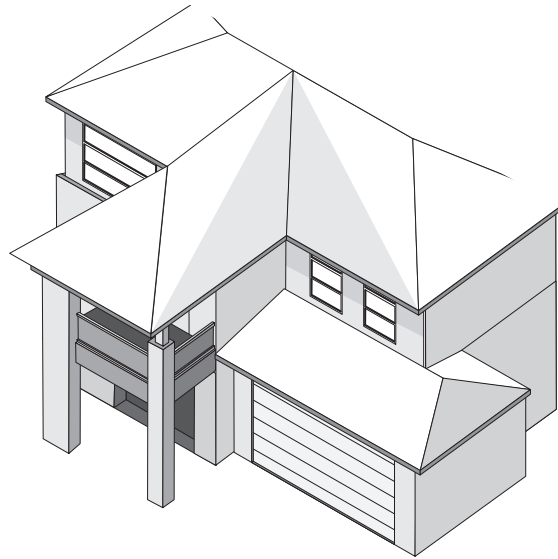
2.6 Eaves

Eaves a minimum of 450mm deep are required for sections of roof visible from the street, with a minimum 2 metre return on the side.

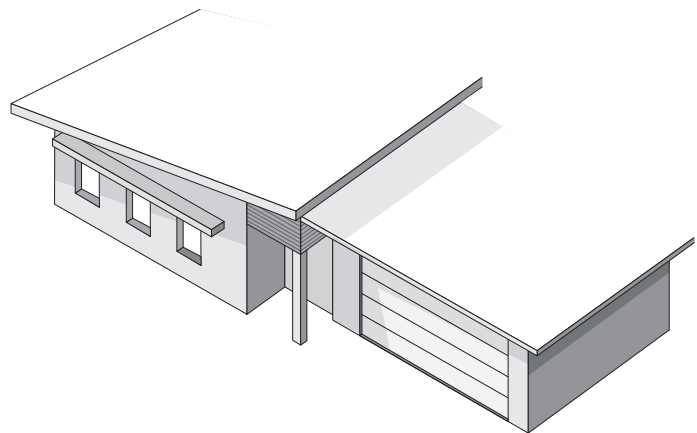
Eaves a minimum of 450mm deep are required to all sides of double storey components.

Eaves are not required for walls that are built to boundary.

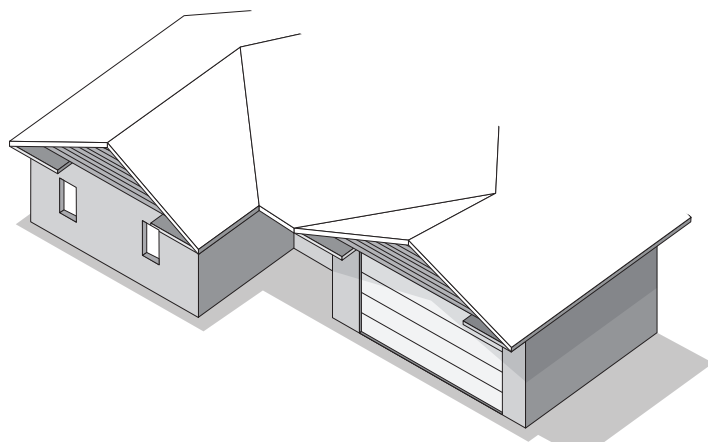
Hipped



Skillion Roof



Hamptons



03

HOW YOUR HOME ADDRESSES THE STREET

3.1 Front door facing the street

Your home must have a front door facing the street and either a verandah, porch or portico, to allow for passive surveillance.

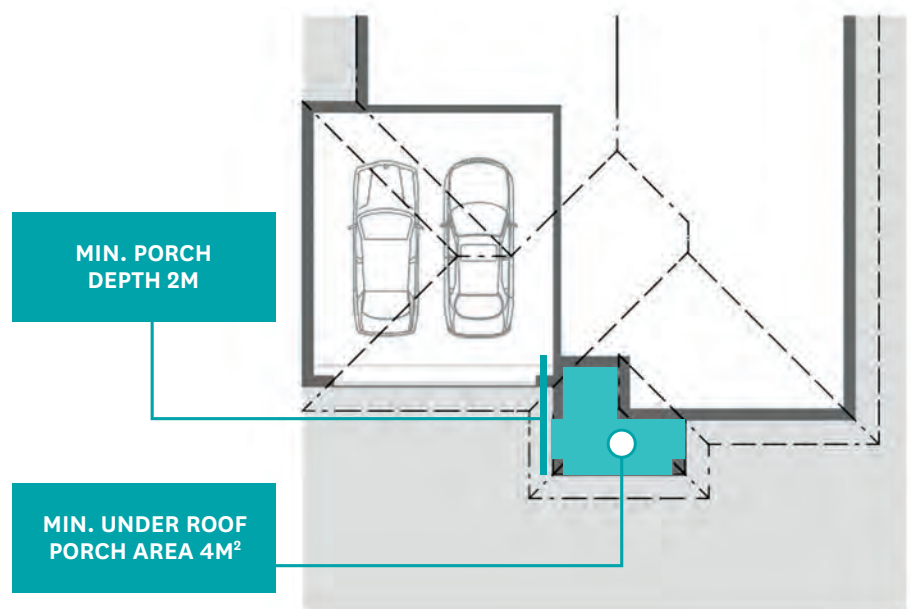
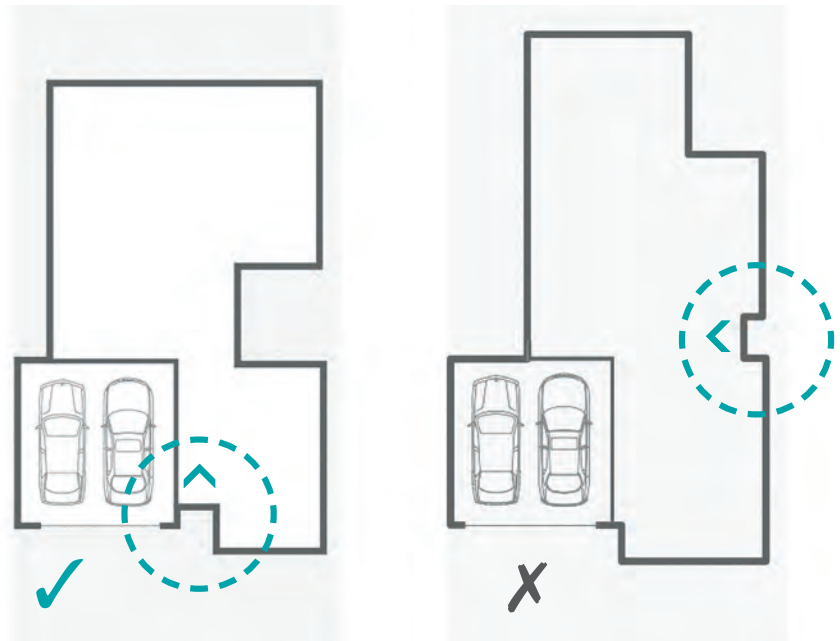
3.2 Porch, portico or verandah size

Your home must have an undercover porch, portico or verandah with a minimum under roof area of 4m² and a minimum depth of 2m.

A formalised entry pathway from the letterbox or pedestrian footpath that is separated by landscaping or by design and material from the driveway is required.

It is encouraged to use landscaping to separate the entry pathway and driveway.

Additional items outlined in the National Construction Code (NCC) may also be required. Please check with your builder and private certifier to ensure all relevant items are met.



3.3 Front facade articulation

Walls may be up to 8m long before a change in setback of at least 450mm is required for a minimum length of 2m. This includes ground and first floor front facades. No change to the eave line is required.

3.4 Secondary street facade

On secondary street facades (not limited to corner lots) walls may be up to 8m long before a change in setback of at least 450mm is required for a minimum length of 1.8m. No change to the eave line is required. This includes ground and first floor facades.

This requirement includes facades visible from road reserves, easements, public walkways, footpaths and parks.

3.5 Visibility

The facade area (excluding the garage and front door) facing a street or public area is to include sufficient glazing (minimum 20%) to allow for passive surveillance of the street.

✓ **Front street elevation materials and colours continue for all facades visible to the street**

✓ **Additional setbacks and articulation to second storey facade**



3.6 External materials

All external materials and colours are to be submitted to Stockland for approval and must reflect contemporary Queensland architecture.

Two (2) contrasting materials and colours must be applied to the facade of the house. Facebrick is not permitted to any elevation of the home except where provided as a minor feature element within the design (30% maximum).

Painted finish required to all elevations - bagged and painted surface is not permitted to any elevation.

No one material or colour can be more than 80% of the facade area (excluding windows, doors, roof gables and infills).

All facebrick must be uniform in colour and smooth in shape. Feature brick will be assessed on case-by-case basis.

Double height facebrick and unfinished 'common' brick are not permitted.

Off-white mortar must be provided to all visible brickwork. Natural (grey in colour) is not permitted.

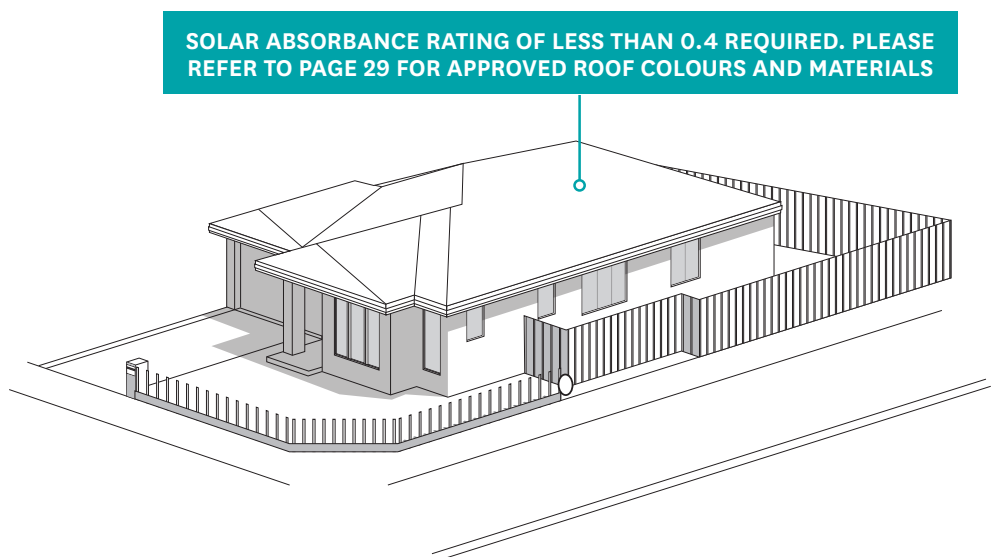
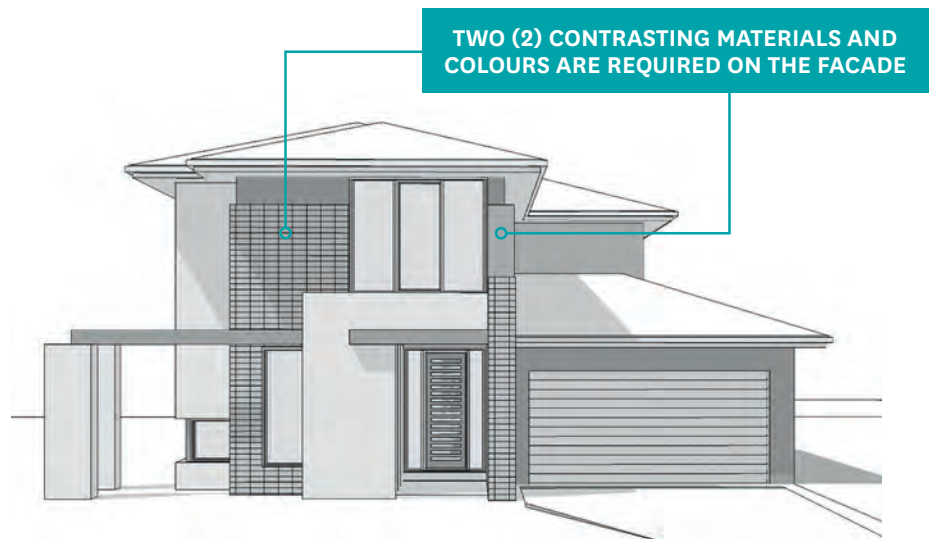
Secondary street facades must also meet these external material requirements.

3.7 Roof materials

As a positive energy efficiency requirement all homes within the Avenues Precinct area need to meet the criteria of solar absorbance rating of less than 0.4.

Colorbond, Unicote and flat tile roofs are permitted (Atura & Bristile roof tile only). No other roof tile will be accepted. Refer to the Approved Roof Colour Palette on page 30.

Roof materials must not be: unfinished, reflective, galvanised, zinc, fibre cement or tray deck sheeting.



3.8 Garages

All garages are required to be recessed a minimum of 450mm from the front building line[^] of the home.

All homes must have a double garage. Single car garages are not permitted.

Garages on double storey homes are permitted to be constructed forward of the main building line where the first floor of the home is constructed with an overhang over the garage of 1m (excluding eaves) and extending at least 50% of the width of the facade.

Garages on corner allotments are permitted to be constructed forward of the front building line[^] with the condition that front fencing is installed and additional landscaping is provided.

Carports, freestanding or attached garages are not permitted.

Proposed side access to be shown on submitted plans. Stockland reserves the right to refuse side access to lots.

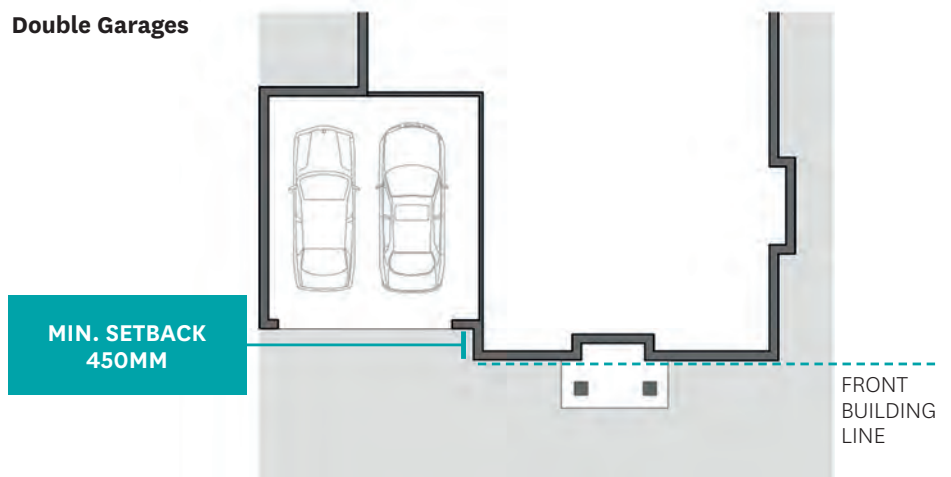
Provide a dedicated electrical conduit to the garage/car space in provision of a future Electric Vehicle (EV) charging outlet.

3.9 Triple Garages

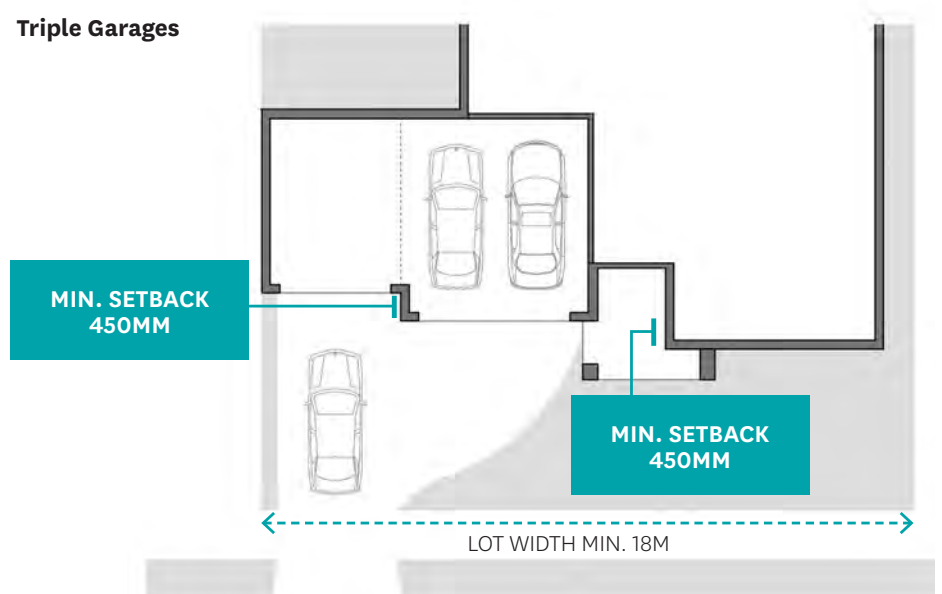
If a triple garage frontage is proposed then:

- The lot width must be at least 18m.
- The third garage must be setback a further 450mm from the other garage doors.

Double Garages



Triple Garages



[^]The front building line of the home is defined as a solid wall on the ground floor front facade of the home. A pier, nib wall, portico or open structure will not be permitted as a solid wall of the home.

3.10 Garage doors

Garage doors must be:

- Panel lift, or
- Sectional overhead, or
- Tilt-a-door

Roller doors will not be approved.

3.11 Water tanks

All dwellings must have:

- A 5,000 litre water tank is required for lots greater than 300m².

Rainwater tanks must receive rainfall from at least one half of the roof catchment area. Rainwater tanks must supply water for external use and internal use to toilet cisterns, laundry and external fixtures.

The water tank is to be displayed on the site plan at time of plan submission for covenant approval.

04

FRONT GARDEN LANDSCAPE

4.1 Extent of landscaping

As a minimum, each lot is to provide the following requirements within the property boundary:

- **One retained garden bed (>400mm) containing either:**

One (1) x 1.5m established feature tree, and three (3) x 0.5m plants. Or:

A minimum of six (6) x 0.5m plants.

- Retaining walls visible from the street, park or public space areas are to be constructed from masonry with a rendered and painted finish, painted and textured concrete sleepers and/or stone only.

- **A second garden bed containing either:**

Two (2) x 1.5m established feature trees. Or:
A minimum of four (4) x 0.5m plants.

- At least one garden bed must contain the established feature tree(s) option.

- The balance of the 70% planting area must include groundcovers and/or shrubs at a coverage of approximately 4 plants/m².

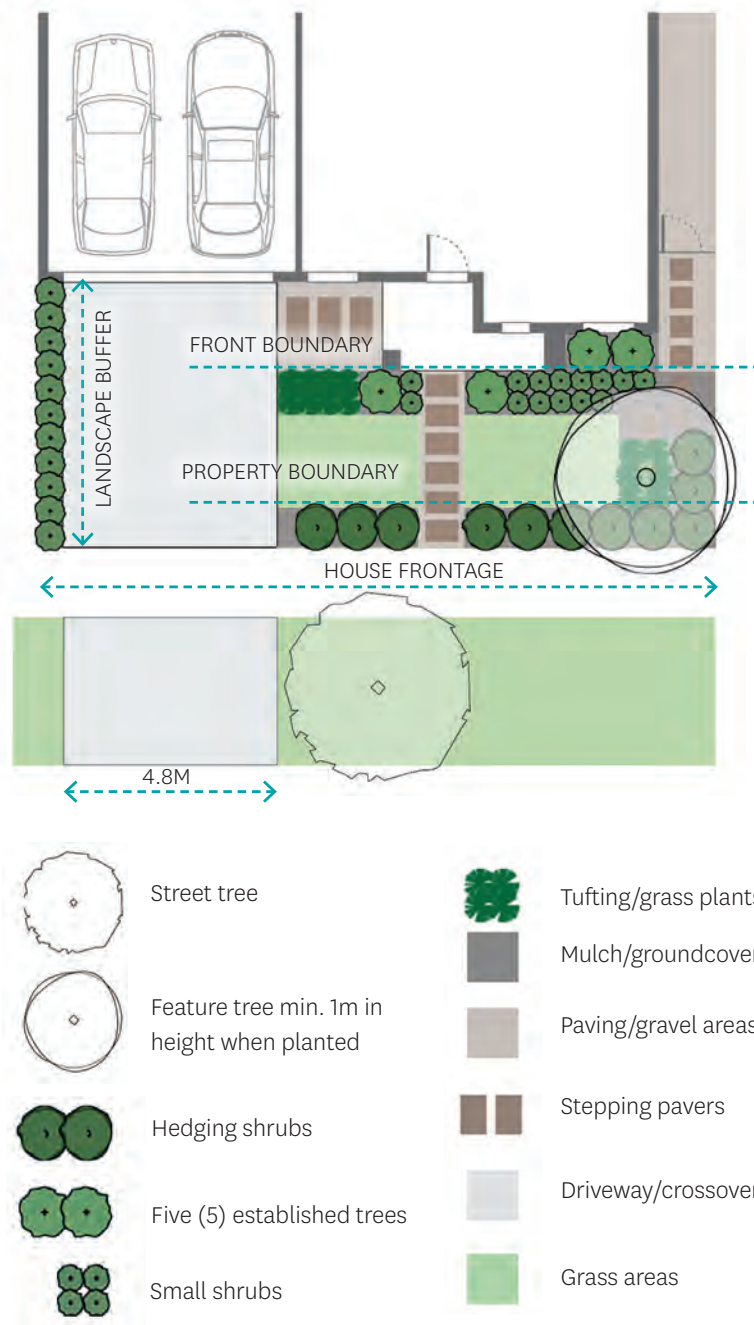
- Potted plants can be used, but will not be accepted as part of the above minimum landscaping requirements.

- All garden beds are to be edged and mulched or have stones in lieu of mulch. Timber edging (under 300mm) visible from the street must be painted or stained.

- A maximum of 30% of the front yard (excluding driveways, decks or paths) is to be turfed. Only Platinum Zoysia or Empire Zoysia turf is to be used in order to match the final verge turfing (Zoysia Japonica SS500, of which Empire and Platinum Zoysia are trademark names).

- Artificial turf is not permitted in front landscaping areas.

- All landscaping is to be completed within 6 weeks after handover from builder.



Example proposed landscape plan

4.2 Access to letterbox

All properties must provide clear access for a postal delivery motorbike to deliver mail to their letterbox.

If properties have a garden feature or bio pod adjoining their property boundary, the letterbox must be orientated towards the driveway and not orientated out towards the front property boundary. This will allow for postal deliveries to occur safely and efficiently to the letterbox.

If the letterbox is affected by these items and is not orientated for ease of delivery, postal items may not be delivered to the property.

Single post letterboxes are not permitted.

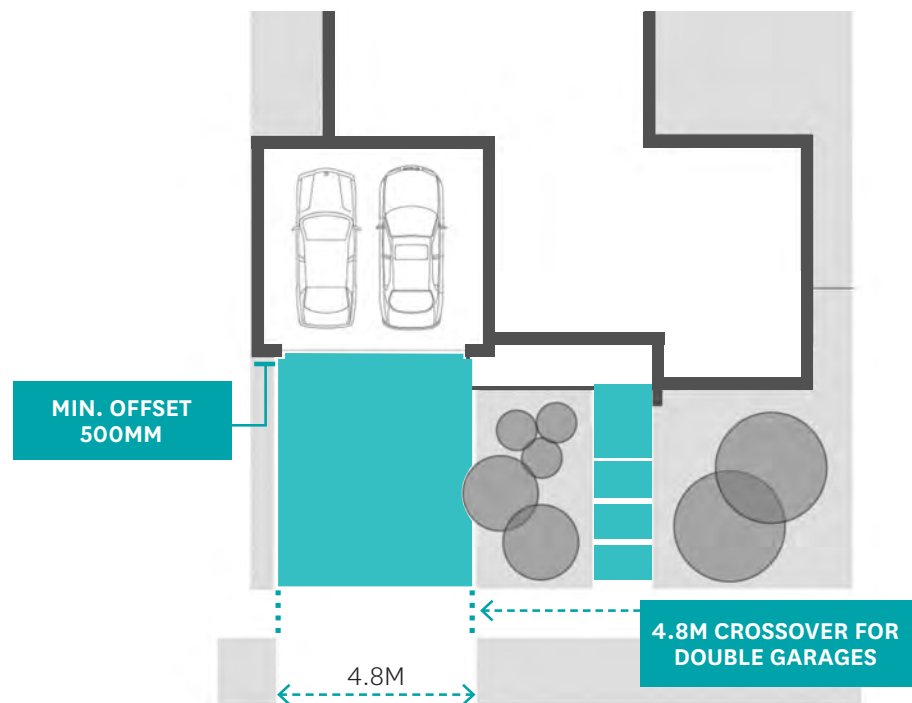
4.3 Pedestrian paths

A formalised pedestrian path must be constructed from the front door and portico to the footpath within the council verge. The path must be separate from the driveway by physicality and material, and be integrated with the surrounding landscape.

Additional items outlined in the National Construction Code (NCC) may also be required. Please check with your builder and private certifier to ensure all relevant items are met.

4.4 Retaining walls

Retaining walls visible from the street, park or public space areas are to be constructed from masonry with a rendered and painted finish, painted and textured concrete sleepers and/or stone only. Where retaining walls are located a minimum of 1m behind the side building line and are not visible from the above listed areas, the retaining wall can be constructed of timber sleepers.



4.5 Driveways

Driveways are to be offset a minimum 500mm from the nearest side boundary for built to boundary lots with a maximum offset of 1m. A landscaping buffer strip is to be provided between the driveway and the side boundary.

Where there is no build to boundary, the driveway can be offset up to a maximum of 2m. A landscaping buffer strip is to be provided between the driveway and the side boundary.

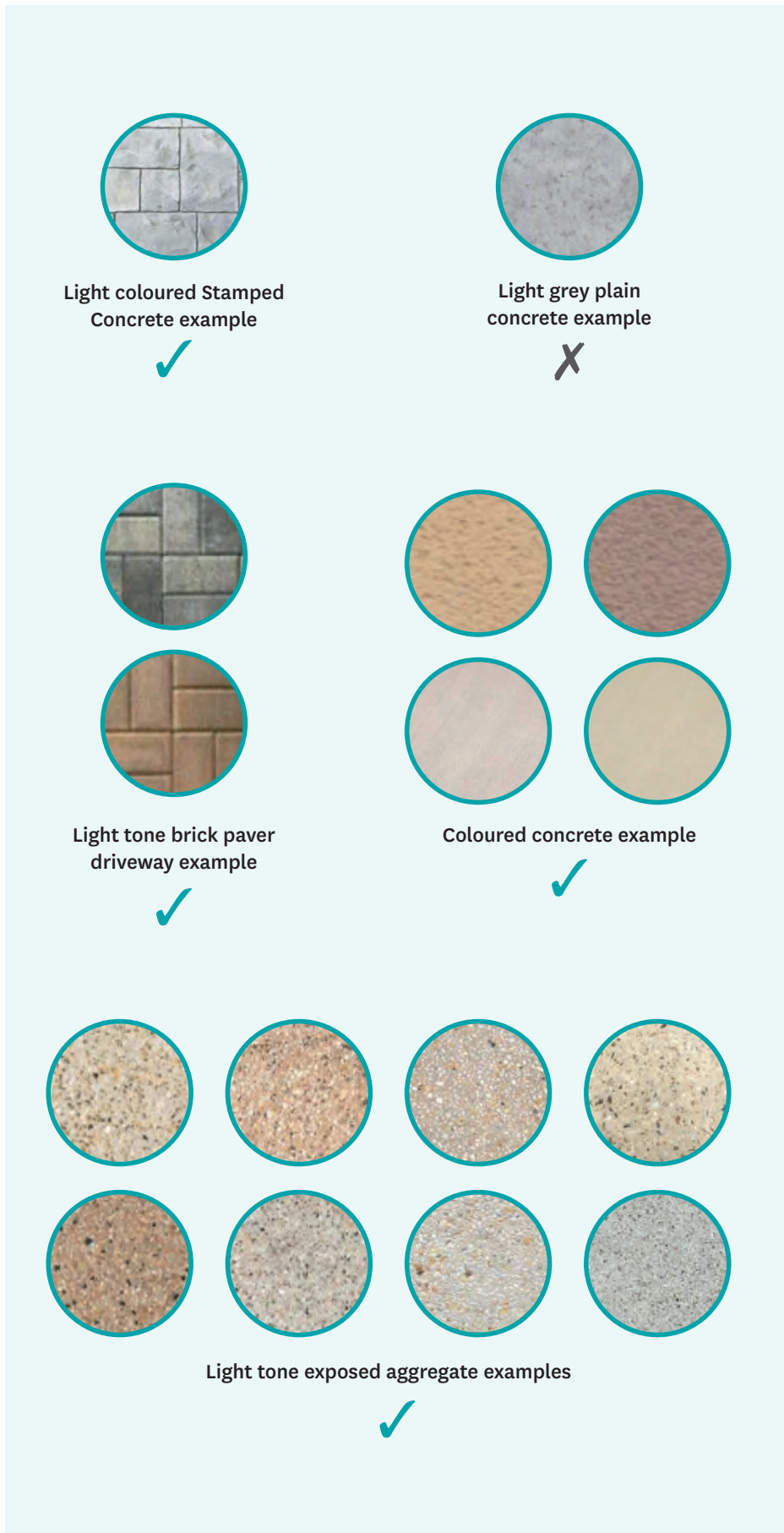
For a double garage the crossover at kerb is to be 4.8m.

The pathway is not to be cut or removed. Driveways are to be poured around the pathway in the verge.

All crossovers and driveways are to be completed prior to occupation.

Painted or plain concrete driveway finishes are not permitted. All driveways and pathways are to adopt a light colour palette, in line with the concrete images shown to the right.

Driveway locations are noted on the Building Envelope Plan and are not subject to change to ensure they do not disrupt on-street parking, tree planting locations, letterbox locations and driveway locations on adjoining lots.



05

FENCING AND BOUNDARIES

5.1 General requirements

Stockland does not provide fencing. Fencing design drawings must be submitted for approval by Stockland's Covenant Specialist.

Fencing, other than optional front fencing, is to be constructed prior to you moving into your home.

Pre-existing fencing is not to be removed for any reason without prior written consent from Stockland's Covenant Specialist.

5.2 Front fencing

All front fencing is required to be displayed on the landscaping and fencing plans submitted to Stockland for covenant approval prior to construction.

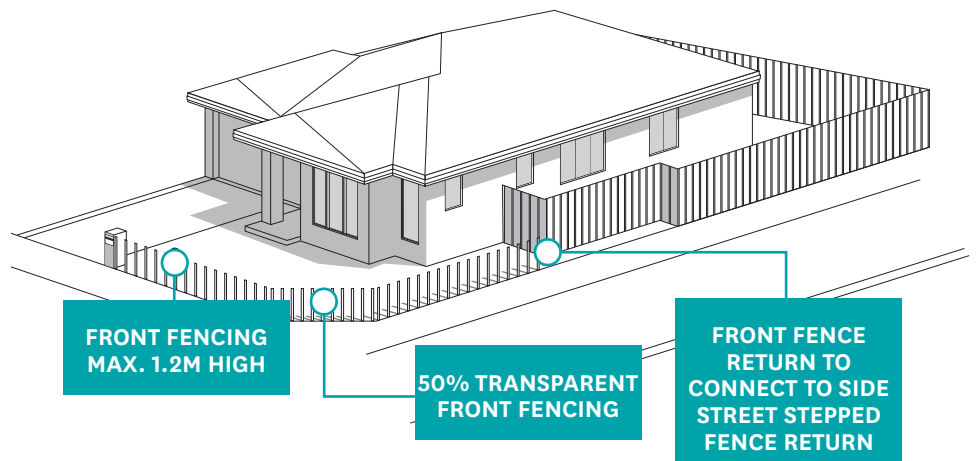
Solid fencing is permitted up to 1.2m in height. Any fencing above 1.2m is to apply an element of transparency (sections or whole fence) to a maximum of 1.5m in height.

The front fence must return a minimum of 1m behind the front building line[^] to meet the side fence return.

All timber fencing must be painted in a colour that complements your home (stain is not permitted).

Masonry is to be rendered and painted with contrasting feature elements.

Front fencing must not include any unfinished materials.



✓
Front fence 50% transparent

✓
Front fencing complements style and colour scheme of home

Front fencing may incorporate a roofed gatehouse, which has a maximum area of 4m², has a street elevation of not more than 2m wide and is not more than 3m in height. The gatehouse is to incorporate the house number and letterbox.

If you choose to fence the front of your lot, you must submit fencing layout and design drawings for approval by Stockland before commencing construction.

Chain mesh, chain link, Colorbond and pool fencing will not be approved.

5.3 Mandatory side and rear fencing

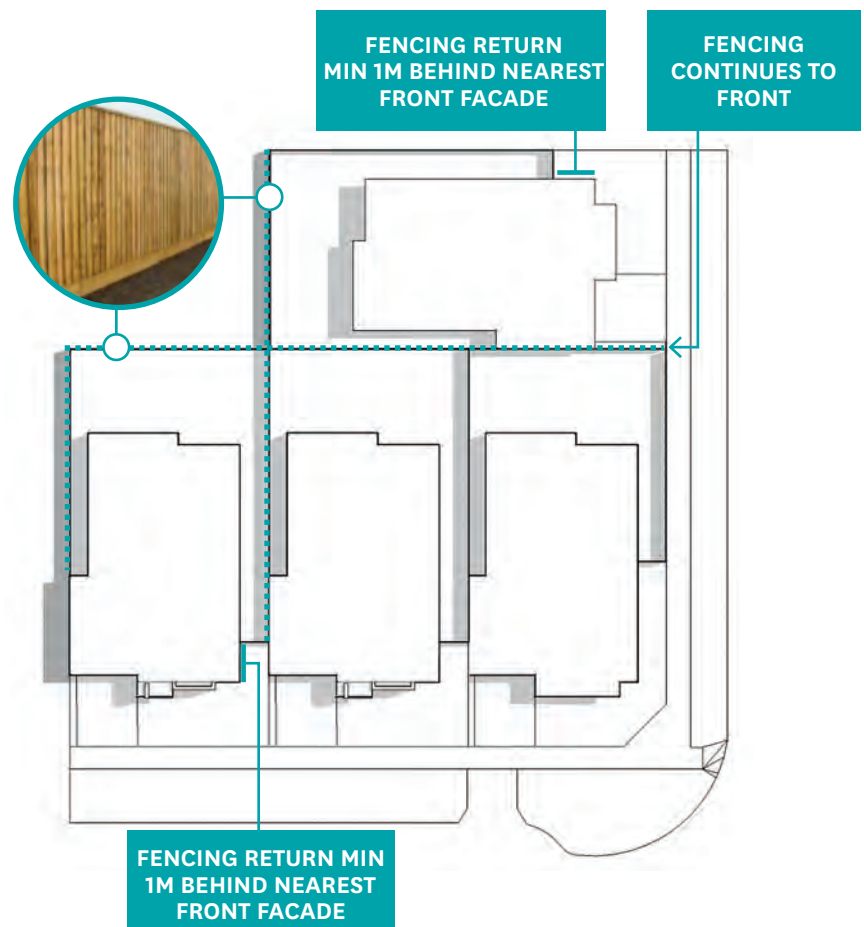
All side and rear fencing is to be a maximum of 1.8m in height.

Side fence returns and gates visible to the street are to be painted to complement your home (stain is not permitted).

Where there is no front fence constructed, the side fence must return 1m behind the front build line[^] and be clearly marked on the landscaping and fencing plan.

Colorbond fencing, if installed 1m behind the front build line[^] and is not visible from the street, will be considered upon application.

Approval must be obtained from Stockland prior to construction.



[^]The front building line of the home is defined as a solid wall on the front facade of the home. A pier, nib wall, portico or open structure will not be permitted as a solid wall of the home.

5.4 Mandatory secondary street fencing (not limited to corner lots)

Secondary street fencing is to be a maximum of 1.8m in height.

All secondary street fencing is to provide capping of the same material as the main fence.

All timber fencing must be painted (stain is not permitted).

Colorbond and pool fencing is not permitted to the secondary fence.

Where there is no front fence constructed, the side fence must return 1m behind the front building line[^] and is to be painted to complement your home.

Where the side boundary forms the rear boundary of an adjoining lot, the side fence may continue to the front of the lot.

All fencing must not include any unfinished materials i.e: timber must be painted; masonry is to be rendered and painted.



06

EXTERNAL ELEMENTS

6.1 General requirements

Any additions, fixtures, equipment, sheds, outbuildings or pergolas must be located to the rear of your home out of sight from your street or any public reserve.

This includes (but is not limited to) satellite dishes, external hot water services, solar hot water systems with roof-mounted tanks, water tanks, spa pumps, heating and cooling units, rubbish disposal containers, rainwater tanks, and washing lines, solar pool heating coils.

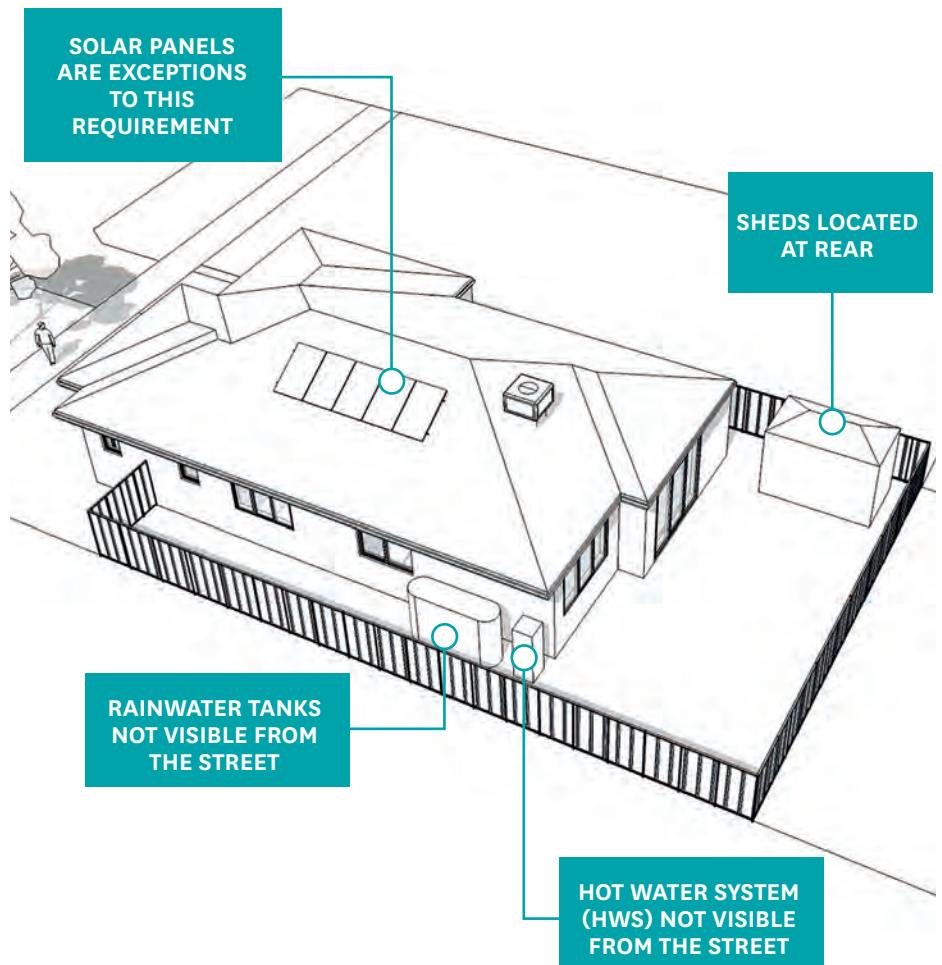
Solar panels for heating water or generating energy are exceptions to this requirement.

6.2 Bin storage

Rubbish bins must be screened and out of public view.

All bins are to be out of sight during non-rubbish collection days.

Bin location and storage area is to be noted on plans at time of submission. Dedicated bin storage is required behind the front building line of the home behind the side fence return and must be detailed on the plan.



6.3 Energy Efficiency requirements

All dwellings are to be wired with an 'off-peak' energy circuit enabling the general household appliances to be connected at the discretion of the homeowner.

All pool/spa pumps are to be 5-star energy rated or connected to 'off-peak' energy circuits.

All split system air conditioners are to be 'peak smart' enabled and activated.

All hot water systems are to be connected to 'off peak' energy circuits unless solar hot water systems are installed and/or LP gas continuous flow hot water systems.



6.4 Sheds and outbuildings

All outbuildings and sheds must be constructed behind the front or secondary street building line of the home and are not to be visible from the front and secondary street or any public area.

All outbuildings including sheds must be displayed on the site plan at the time of plan submission for a Covenant Approval to be obtained prior to construction.

All structures including but not limited to gazebos, alfrescos, patios, verandahs and porch areas including extensions or renovations which are to be applied to the home after builder handover or after the original plans for the lot have been covenant-approved, the owner and builder will be responsible for obtaining a covenant approval for these structures prior to construction. Items including but not limited to location and siting of the structures, material, size and height, site coverage, external material and colours will need to be checked and approved prior to construction. These structures may also require a council approval and building permit prior to construction which will be the owner and builder's responsibility.



Sheds must be of a colour complementary to the main home or roof colour. Unfinished metal sheds of any size are not permitted. Any shed larger than a 3m x 3m garden shed will need to apply the standard setbacks for the lot and may require a council permit and be taken into consideration for the site coverage percentage of the lot.

Car ports, freestanding or attached garages and temporary shade structures are not permitted.

6.5 Clothesline

An external clothesline is to be included for each home in the Aura Community. The external clothesline will need to be clearly displayed on the site plan at the time of plan submission.

All clotheslines must be constructed behind the front or secondary street building line of the home and are not to be visible from the front and secondary street boundaries or any public areas.

6.6 Presentation and maintenance of your property

An owner/builder must not permit, cause or authorise any damage to any adjoining lot and/or any other part of the Aura Community including but not limited to footpaths, kerb and channel, roadways and/or landscaping.

Where such damage occurs and Stockland is required to undertake repairs and rectifications, the owner/builder of the lot will be responsible to pay the cost of these works. Your property must be kept in a clean and tidy state at all times. Silt fences and rubble driveways are in place and must be maintained during the total construction of your home. Where rubbish, soil and grass cuttings are washed or blown from your lot and Stockland determines it is necessary to remove this rubbish, you will be responsible to pay for the cost of the removal. The owner/builder must

maintain an industrial waste bin or fully wrapped cage bin on site at all times. The bin is to be established on site as soon as construction has commenced. This waste bin must be regularly emptied and must be covered when full so no material escapes the waste bin. The site must be cleared of any rubbish or building material on a daily basis with this rubbish and building material placed into the waste bin each afternoon when building activity has finished for the day. No excavated material, rubbish or dumping shall be placed on any adjoining lot, private or public area within Aura.

For vacant lots that have been sold and settled, the individual owner is responsible for the presentation of the lot. Should excavated material or rubbish be dumped upon the lot, the owner is to address this directly with the adjoining owners/builders.

When the home is constructed, the owner is responsible for maintaining the front and secondary street frontages. All turf and garden areas are to be kept mowed and maintained.

6.7 Developer works (including retaining walls, fencing parks or entry statements)

Where the developer has constructed a fence, entry statement or retaining wall, it is to be maintained by the owner to the standard to which it was constructed by the developer.

All fencing connected to any developer fencing must taper for the final 3m to meet the height of the developer fencing. In the circumstance where the developer fence exceeds the 1.8m maximum fence height, the adjoining fence is permitted to exceed the maximum fence height within the 3m tapered section of the fence.

6.8 Sewer or manhole zone or influence requirements

Please ensure all works that are carried out which are adjacent to any sewer or manholes including but not limited to landscaping and earthworks are to be applied and to ensure that the sewer or manhole is not impacted upon. This may include covering, burying, modifying, changing and causing damage to the manhole. Any works carried out that impact on the manhole will need to be rectified at the property owner's expense.

6.9 National Broadband Network

Aura will be supplied with the NBN. In-house wiring must comply with the requirements of the NBN in-home wiring guide, including Home Distributor, Conduiting, Category 6 wiring and power supply.

The owner and the builder will be responsible for these requirements with the owner to speak with their chosen builder if any additional wiring to the home internally and externally is to be provided at time of house construction.

07

ENVIRONMENTAL SUSTAINABILITY

7.1 Energy efficiency & lighting

All dwellings are encouraged to be designed and built to achieve reductions in greenhouse gas emissions in line with the relevant government regulations.

It is encouraged that all internal light fittings such as downlights, pendants, wall mounts etc allow for compact fluorescents or LED.

External light fittings must not result in excessive light spill.

7.2 Passive design

Locate indoor and outdoor living spaces to the north of the dwelling to facilitate solar access in winter months.

Where possible, provide adequate shading such as retractable shading devices, trees, tinted glass etc to prevent significant summer solar heat gain.

Where possible, locate private open space on the north side of the allotment and avoid being located along a primary frontage.

If possible, zone dwelling layout to enable main living areas to be separately heated and cooled.

7.3 Water efficiency

All dwellings are encouraged to be connected to a rainwater tank for garden watering and car washing.

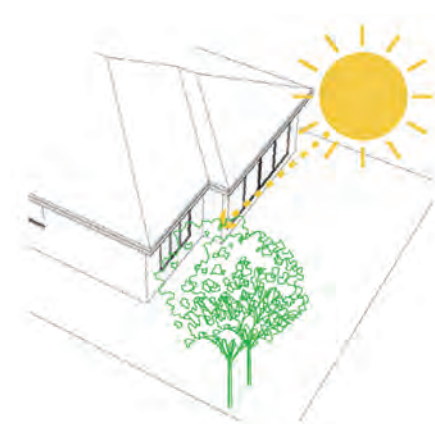
Where a purple pipe recycled water system is in operation you will be required to connect for other purposes such as toilet flushing and washing machine supply.

Reducing energy, waste and water needs and usage, increasing comfort and reducing running costs for homeowners.

LED



NORTH



WATER



GLOSSARY OF TERMS

'Common' brick

Brick made for general building purposes and not specially treated for colour and texture.

Corner lots

Lots that are visible from road reserves, easements, public walkways or paths.

Eave line

As explained in the Plan of Development included in your contract.

Facade area

Facade Area is calculated as a square metre measure of the entire vertical surface of the elevation of the house visible from the Street or Public Area.

Front building line

The front building line of the home is defined as a solid wall on the front facade of the home. A pier, nib wall, portico or open structure will not be permitted as a solid wall of the home.

Glazing

Any fixed or opening panel made from glass.

Public area

Any area accessible to the public including but not limited to parks, conservation areas, walkable waterfront, walkways/footpaths and easements.

Setback

The distance measured from adjacent boundary of the lot to the wall of the home as per the Plan of Development setback requirements.

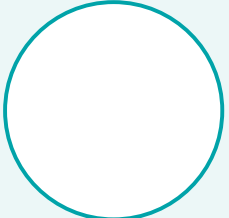
Building and Other Legislation Amendment Act 2009

The Design Essentials are to be read and applied subject to the requirements of the Building and Other Legislation Amendment Act 2009 (Act). If any term, requirement or condition in these Design Essentials (or any part of them) is invalid or unenforceable for any reason (including as a result of the application of the Act) the remaining terms, requirements and conditions will continue to apply and will be valid and enforceable to the fullest extent permitted by law.

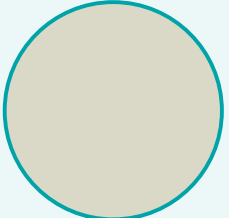
APPROVED ROOF COLOUR PALETTE

APPROVED ROOF COLOUR PALETTE

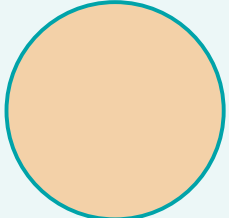
UniCote Colours



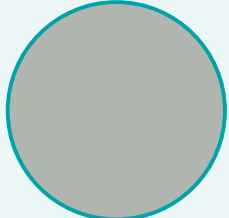
Hamptons White



Off White

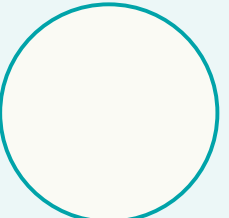


Smooth Cream

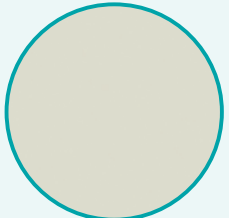


Montauk

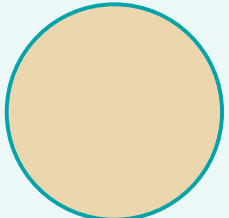
Colorbond Colours



Dover White



Surfmist



Classic Cream

Atura Tiles



Salt Spray



Seashell

Bristle Roofing Tiles



Alabaster

DESIGN APPROVAL CHECKLIST

DESIGN APPROVAL CHECKLIST

Site plan

1:200 or 1:100 scale

- Existing and proposed contours
- Proposed floor levels
- All setback dimensions to boundaries
- Fencing (incl. dimensions of fence return setbacks, stepped fencing, side street boundary fencing, etc)

Floor plan

1:100 scale

- Internal layout
- Dwelling areas
- Dimensions (including setbacks, articulation, porch, etc)
- Ancillary fixtures and equipment (eg. rainwater tanks, hot water systems, etc)
- Sheds, outbuildings, pergolas, etc

All elevations

1:100 scale

- External materials and colours
- Proposed floor levels and building heights from natural ground level
- Eave dimensions
- Roof pitch
- Sheds, outbuildings, pergolas, etc

Sections

1:100 or 1:50 scale

- Built form and natural ground level
- Site cut/fill
- Ceiling heights
- Retaining walls

External materials & colours schedule

- Wall cladding material and colour
- Roof material and colour
- Gutters, fascias, downpipes colour
- Window and door frames colour
- Decks, verandahs, etc
- Fencing material and colour
- Driveway material and colour

Landscape plan

1:100 scale

- Plant list, including species and sizes
- Front fencing details, material and colour
- Level difference between portico and pathway
- Paving or hardscape material and colour
- Retaining walls



AURA

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CITY of **COLOUR**.com



Stockland

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