

Lifestyle Design Essentials





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The Community Vision

Stockland is presented with a unique opportunity to deliver a high-quality masterplanned community. It will provide a wide range of high-quality public and private facilities and market-leading housing choices in a variety of landscape settings.

The Design Essentials outlined in this document allow the implementation of key design principles to deliver a strong sense of place and community.

This community will offer an incomparable range of lifestyle choices, providing an outstanding place set in the signature landscape with memorable landmarks where people will love to live. A place that people will be proud to call home.



Lifestyle Masterplan



- Sales and Information Centre**
- Early Education and Schools**
 - Iona College – 550m
 - Armstrong Creek East Children's Centre – 2km
 - Brighthouse Early Learning Armstrong Creek – 2km
 - Oberon High School – 2.6km
 - Elements Childcare Warrally – 2.6km
 - Geelong Lutheran College – 3.1km
 - St Catherine of Sienna Primary School – 3.5km
 - All Day Long Child Care – 3.5km
 - Mirripoa Primary School – 3.5km
 - Grovedale Primary School – 4.1km
 - Grovedale College – 4.8km
 - Mandama Primary school – 5.2km
 - Deakin University Geelong Wauron Ponds – 8km
 - Belmont High School – 8.5km
- Parks and Open Spaces**
 - Sanctuary Estate Playground – 2.1km
 - Aviation Drive Playground – 3.4km
 - Warrally Boulevard Playground – 4km
 - Bunji's Nest District Park – 4km
 - Wauron Ponds Skate Park – 6km

- Shopping and Amenities**
 - The Village Warrally Shopping Centre – 1.6km
 - Armstrong Creek Town Centre – 2.6km
 - Grovedale Plaza – 4.3km
 - Wauron Ponds Shopping Centre – 5.8km
 - Belmont Village Shopping Centre – 6.7km
 - Westfield Geelong – 9.6km
 - Pakington Street Geelong – 10.6km
 - Torquay Farmers Market – 12km
 - Torquay Surf Shops – 15.6km
- Sports and Recreation**
 - Quickfit Health Club – 1.6km
 - Anytime Fitness Armstrong Creek – 3.4km
 - Armstrong Creek Cricket and Sporting Club – 3.4km
 - Armstrong Soccer Club – 3.5km
 - Armstrong Mount Duneed Sporting Reserve – 3.6km
 - Barwon Soccer Club – 3.7km
 - F45 Grovedale – 4.1km
 - Grovedale Tennis Club – 4.9km

- Medical Centres**
 - Armstrong Health Medical Clinic – 1.4km
 - Warrally Family Medical Practice – 1.6km
 - Grovedale Medical Centre – 4.2km
 - Wauron Ponds Medical Centre – 6.5km
 - South Barwon Medical Centre – 6.5km
 - Epworth Geelong Hospital – 8.8km
- Transport Connections**
 - Barwon Heads Road – 400m
 - Boundary Rd/Barwon Heads Rd Bus Stop – 1.1km
 - Surf Coast Highway – 2km
 - Marshall Train Station – 4.1km
 - Wauron Ponds Train Station – 7km
 - Geelong Ring Road/ Princes Hwy – 7.3km
 - Geelong CBD – 10.4km
 - Great Ocean Road – 15.6km

- Legend**
- Future Residential
 - Proposed Future Townhomes
 - Proposed Childcare
 - Sales & Information Centre
 - Future Display Village
 - Banksia Community
 - Barwon Water Asset
 - Proposed Shared Walking Path
 - Future Road Widening



Background

Stockland's commitment and objectives

Stockland's commitment to you is to encourage and showcase quality urban design. Stockland's objective is to create a pleasant living environment that is centred around a strong sense of community and provides a variety of housing solutions to suit a diverse range of lifestyles.

It is important that the design of your home is in keeping with the Design Essentials outlined in this document.

They have been created to:

- Encourage visually appealing streetscapes
- Promote environmentally responsible development
- Provide certainty about the standard of housing
- Assure you that everyone will contribute equally to achieving a strong neighbourhood character
- Protect your investment

- Promote a modern Australian architectural style that responds to the Australian climate and fosters a cohesive streetscape
- Deliver on 'The Community Vision'.

Promoting good design

The Design Essentials encourage a cohesive streetscape while promoting variety in house design.

The Essentials are designed to create a neighbourhood that is visually interesting, promotes diversity and is of a consistent high quality. To achieve this objective the Design Essentials facilitate good residential design.

By following the Design Essentials carefully you will help to contribute to the creation of a more desirable neighbourhood and enhance the value of your home and community.



Design approval

Submission requirements

In order to build, you must apply and have an application package approved by Stockland's Covenant Team. Design Approval by Stockland does not constitute building approval or compliance with building regulations. Upon obtaining Design Approval from Stockland, a building permit must be obtained from the local Council or a private Building Surveyor before construction can commence.

The process

Stockland's Covenant Team will endeavour to assess proposals in the shortest possible time, generally within 10 business days of receiving all required information for the application. Approved plans will be stamped approved, copied and returned to the applicant or their agent. The progress of the home will be monitored by Stockland to ensure that it conforms with the approved design.



Review

Review Design Essentials and Contract of Sale (including the MCP).



Check

Check for Special Requirements unique to your community (Stockland will identify these for you).



Design application

Submit 'House Design Application' to Stockland for endorsement through our website **builderportal.stockland.com.au**. Refer to the Design Approval Checklist on p.27.



Building permit application

Submit Building Permit Application including Stockland's Design Approval to an accredited Building Surveyor to obtain a building permit and proceed to construction. Town Planning approval from council may also be required.

Developer's responsibility

Whilst Stockland will endeavour to ensure compliance with these Design Essentials wherever possible, Stockland will not be responsible or liable to any person for any loss, damage or injury arising whether directly or indirectly from any noncompliance with these Design Essentials..



The Design Essentials





1. Siting and servicing your home

1.1 Min. setbacks

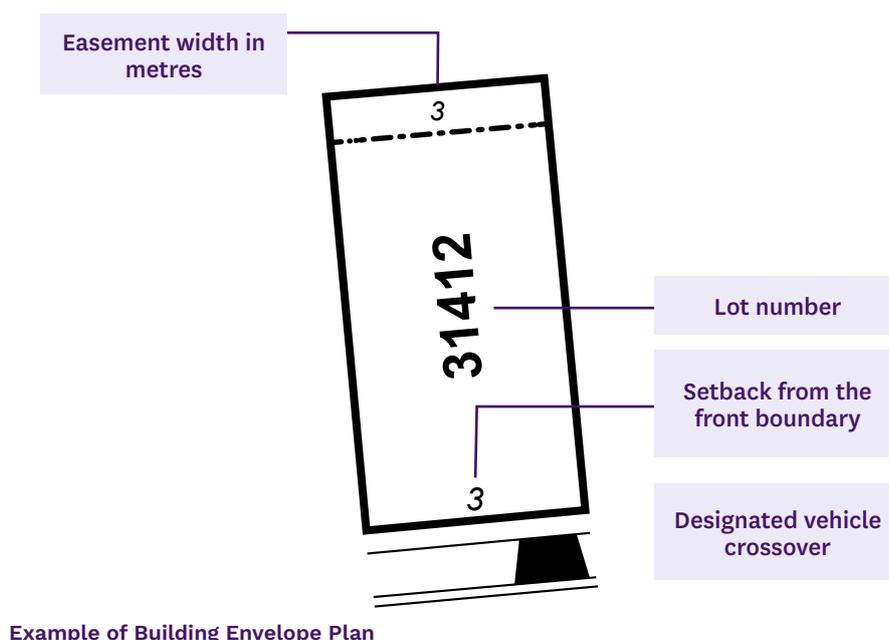
All minimum setbacks must be as shown on the Building Envelope Plan contained within the Memorandum of Common Provisions (MCP) provided by Stockland in your contract of sale.

1.2 Service connections

You must ensure that your home is connected to all available in-ground services according to the service provider's standards including the purple pipe system for recycled water and the broadband optic fibre network if present.

1.3 Small lots

Depending on local Council requirements small lots under 300m² may be subject to the small lot housing code and/or require a Town Planning permit.





2. The style of your home

Choosing a home style that fits in with your neighbourhood

2.1 Home style

Your home design must be either 'Hamptons-inspired' or 'Contemporary' and in keeping with the other homes in your street.

Faux heritage styles and detailing will not be permitted unless it is in keeping with the above architectural styles.

Example home styles are provided to the right.

2.2 House design separation

The house may not be the same as one within three lots either side or across the street, unless:

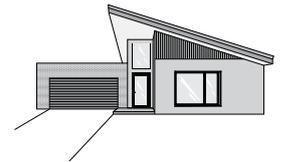
- It is approved in writing by Stockland and/or;
- The house is part of a row of terraced homes or a medium density development.



✓ **Contemporary facade**



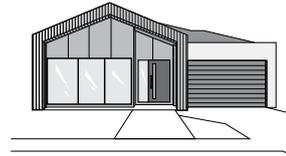
✓ **Coastal Facade – Long Island Homes**



✓ **Contemporary Facade with Skillion Roof – Arden Homes**



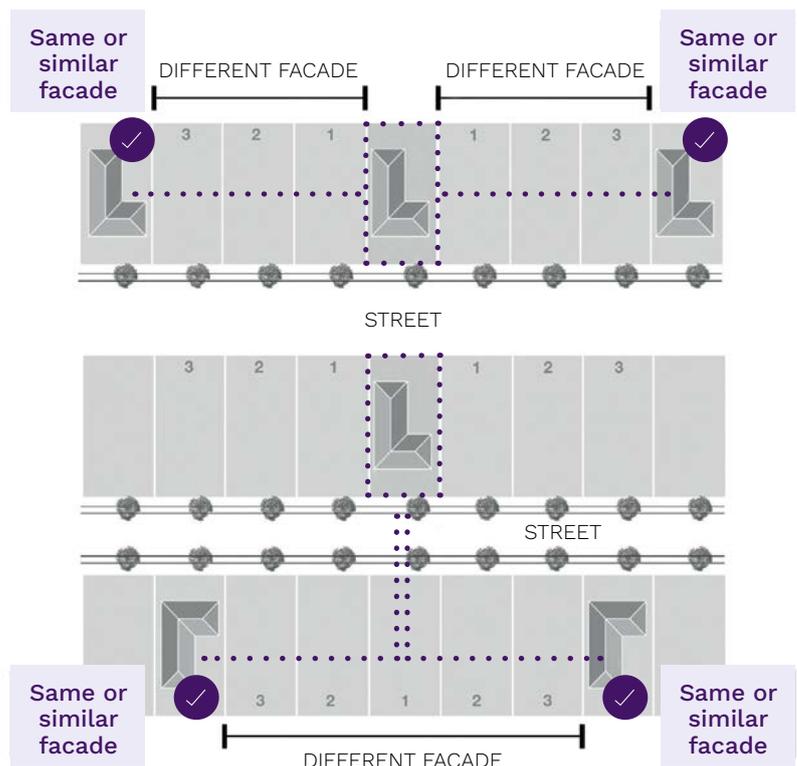
✓ **Double Storey Contemporary Facade – Pivot Homes**



✓ **Contemporary Facade – Sherridon Homes**



✗ **Faux heritage features not permitted**



2. The style of your home



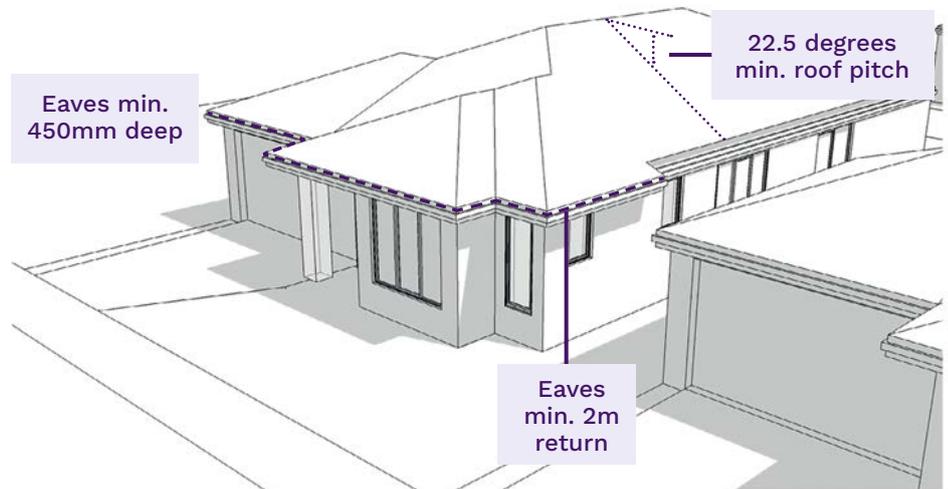
2.3 Roof pitch

A minimum roof pitch of 22.5 degrees is required unless it is a skillion roof, in which case it must have a minimum roof pitch of 10 degrees and a maximum roof pitch of 15 degrees.

2.4 Eaves

Eaves a minimum of 450mm deep are required for sections of roof visible from the street, with a minimum 2m return on the side.

Eaves a minimum of 450mm deep are required to all sides of double storey components.



2.5 Parapet walls

Flat roofs less than 5 degrees must be fully concealed by a parapet.

Any side parapet wall must return around the front facade and must not create a 'step' in the front facade wall.

2.6 Ceiling heights

Your home must have a minimum ceiling height of 2550mm.

Double storey designs have minimum ceiling heights for the second storey in accordance with Building Regulations.





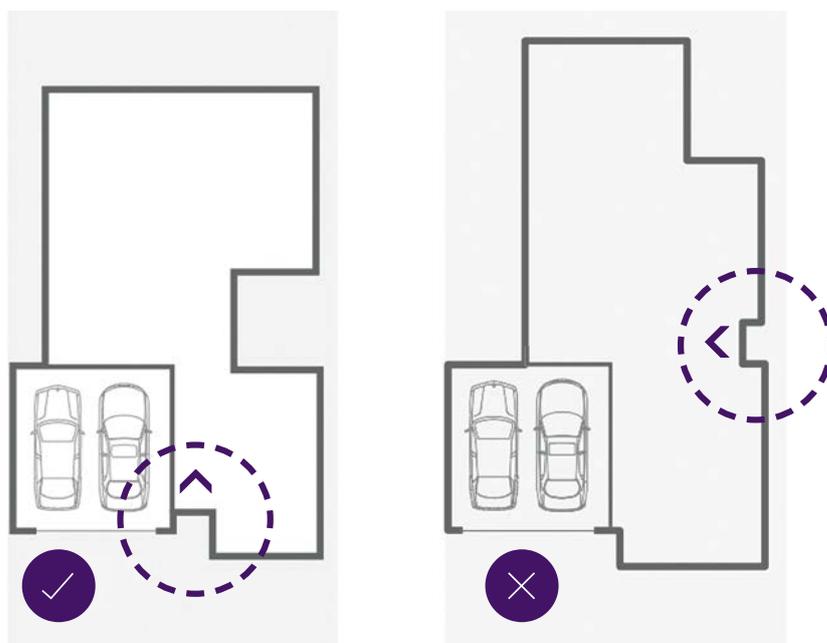
3. How your home addresses the street

3.1 Front door facing the street

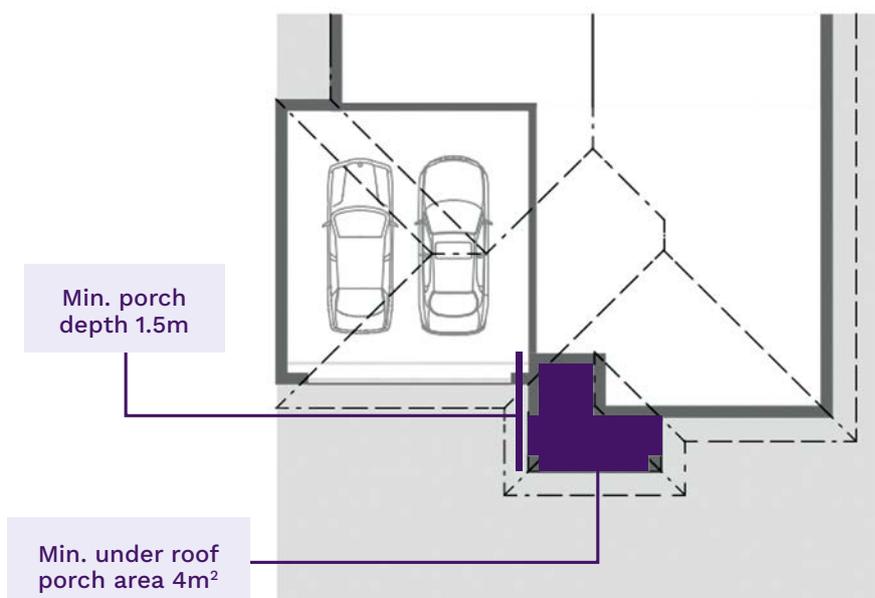
Your home must have a front door facing the street and either a verandah, porch or portico.

3.2 Porch, portico or verandah size

Your home must have a porch, portico or verandah with a minimum area of 4.0m² and a minimum depth of 1.5m at some point.



Front door facing the street



Porch, portico or verandah size

3. How your home addresses the street



3.3 Windows

Your home must have a minimum of 1 habitable room window on each facade facing both the primary and secondary street frontages.

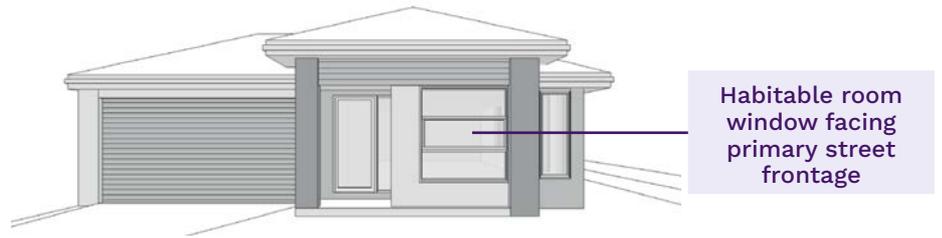
Windows that are readily visible from the street must be consistent in style and proportion and must have a maximum sill height of 1.25m above the finished floor level (FFL). These windows include:

- ground floor and upper storey windows on the front facade facing the primary street frontage, and;
- ground floor and upper storey windows forward of the corner fence return facing the secondary street frontage.

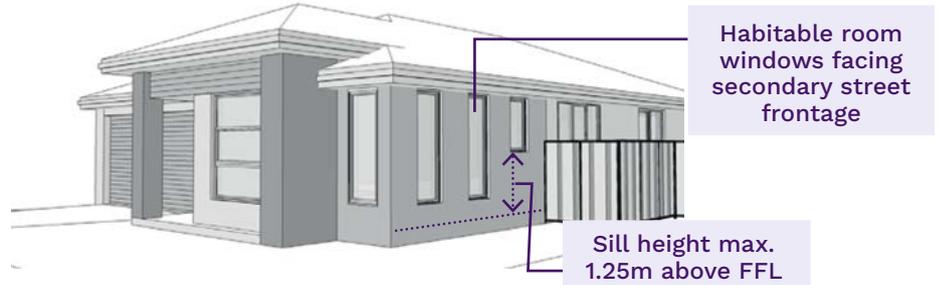
Blank walls with no windows are not permitted on any facade visible from both primary and secondary street frontages.

3.4 Corner lots

A building on a corner lot may encroach not more than 300mm into the setback on a side street for a maximum length of 10 per cent of the building wall facing that side street.



✓ Habitable room windows facing primary street frontage

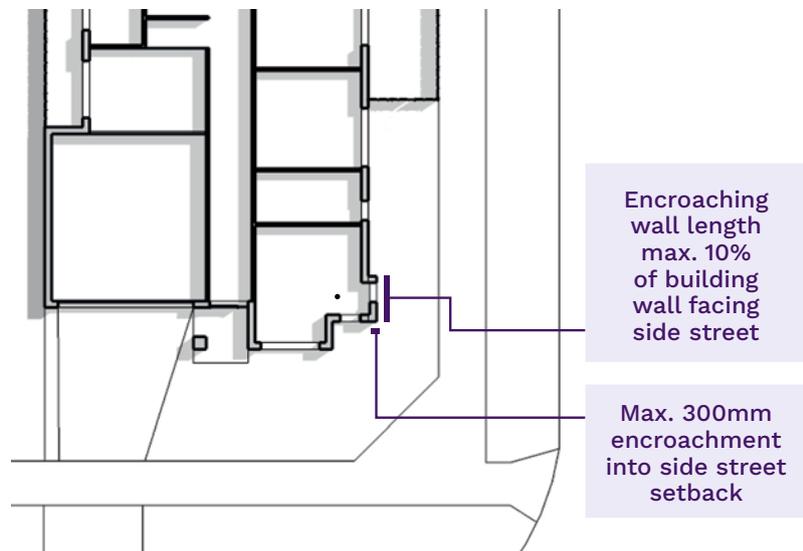


✓ Side street windows match style and proportion of front windows



✓ Side street windows match style and quality of front windows

✗ Side street windows do not match style of front windows



3. How your home addresses the street



3.5 Second storey facade articulation

Front or side street and rear laneway facing second storey facades must incorporate balconies and/or additional setbacks and articulation.

3.6 External materials

All external materials and colours must suit the character of the neighbourhood and be submitted to Stockland for approval.

Any facade of your home visible from a street or public space must have a minimum area of 20% of a material or colour contrasting with the main material or colour.

The 20% is calculated excluding windows, doors, and garage doors and other openings.

Single storey colour and material requirements apply to the second storey.

For homes on corner and rear-accessed lots, architectural treatment, facade elements, roof articulation, materials and colours incorporated on the front facade must return along the secondary street frontage up to the corner fence return. Refer to corner fence requirements.

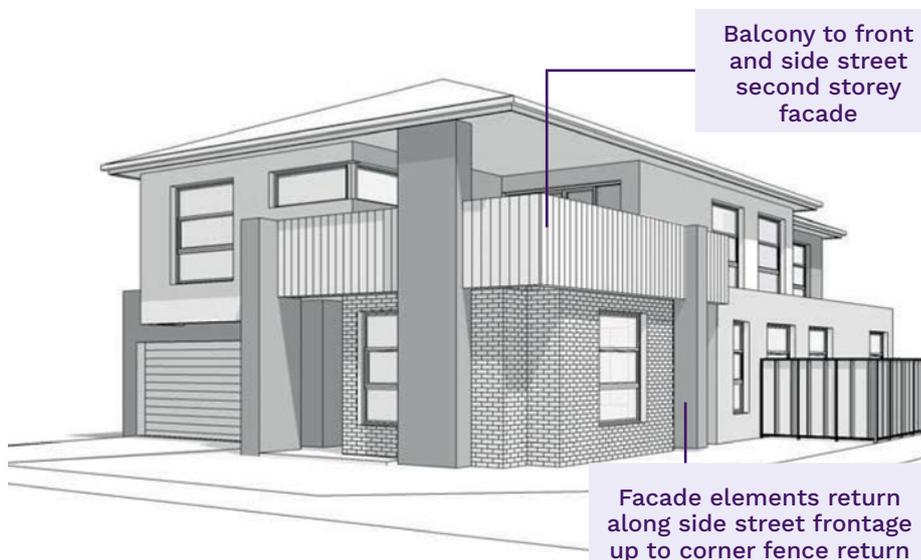
3.7 Roof, gutters and downpipes

Gutter and fascia colours are to match the roof colour. Downpipe colours must not contrast with wall colour.

Roof materials must not be: unfinished, reflective, galvanised, zinc, fibre cement or tray deck sheeting.



✓ Front street elevation materials and colours continue for all facades visible to the street



Balcony to front and side street second storey facade

Facade elements return along side street frontage up to corner fence return

✓ Corner lot architectural treatment, facade elements, roof articulation, materials and colours continue for all facades visible to the street



Min. 20% contrasting material or colour

✓ Additional setbacks and articulation to second storey facade

3. How your home addresses the street



3.8 Garages

The garage must be attached and match the quality and finish of the exterior of your home. Carports will not be approved.

Single and double garages must be set back a minimum of 840mm from the front or side building line unless otherwise noted in the MCP. The exception to this is where the house is double storey and the second level covers 50% of the garage area. In this case, the garage can be in line with the front or side building line.

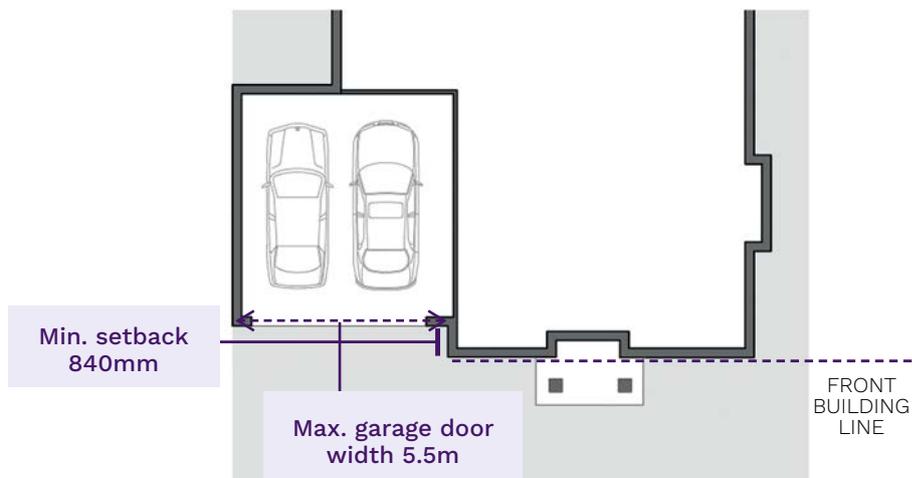
Single garages must have a maximum opening width of 3.5m. Double garages must have a maximum opening width of 5.5m.

Double garages cannot exceed 7m in width (measured as the internal clear width plus the external wall).

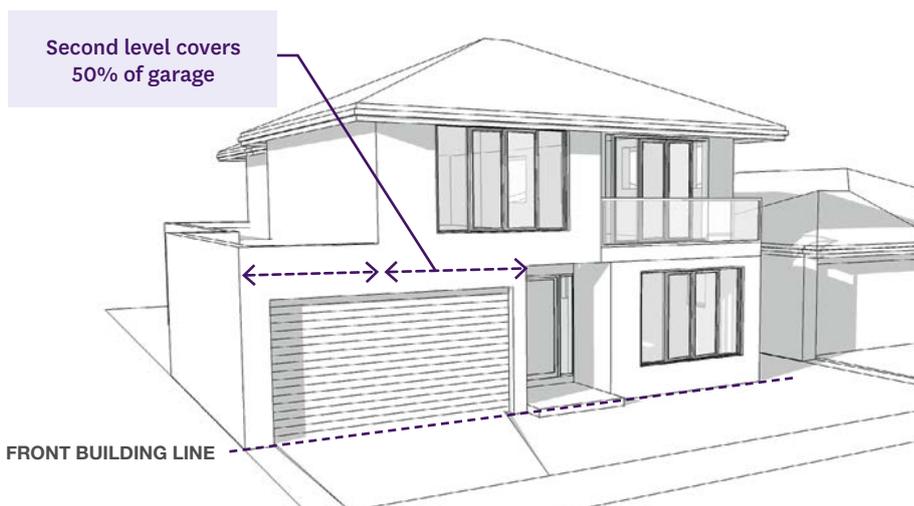
3.9 Rear access garages

A Garage accessed from the rear of the property must be setback 500mm minimum from the rear property line.

Rear access garages can be detached but must match the look of the dwelling.



Double garages



Garage Design – double storey home

3. How your home addresses the street



3.10 Triple garages

If a triple garage frontage is proposed then:

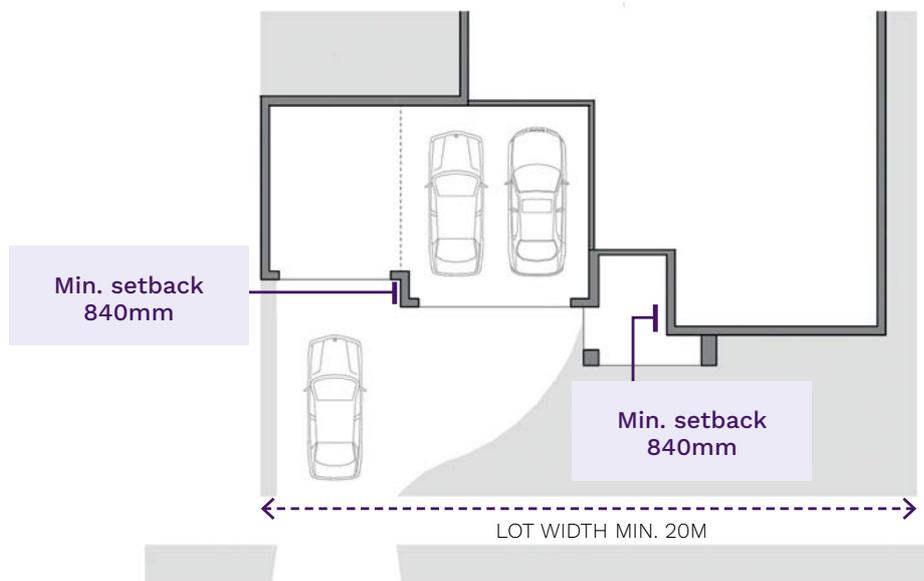
- The lot width must be at least 20.0m frontage;
- The third garage must be setback a further 840mm from the other garage doors.

3.11 Garage doors

Garage doors must be:

- Panel lift, or
- Sectional overhead, or
- Tilt-a-door.

Roller doors will not be approved.



Triple garages

3. How your home addresses the street

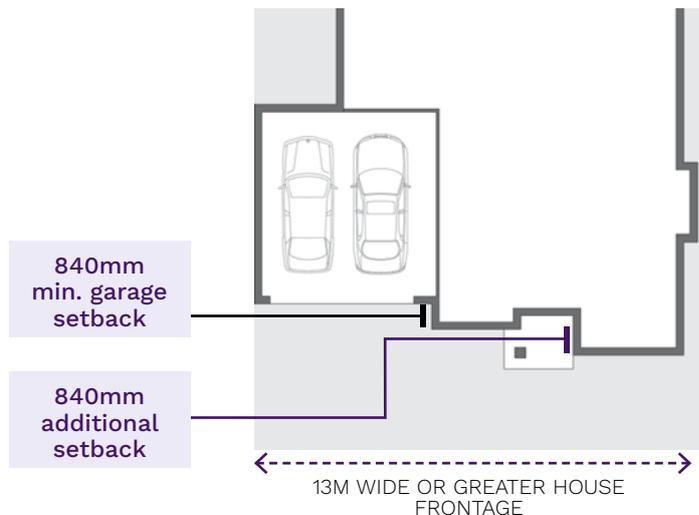


3.12 Requirements for homes that are 13m or more in width

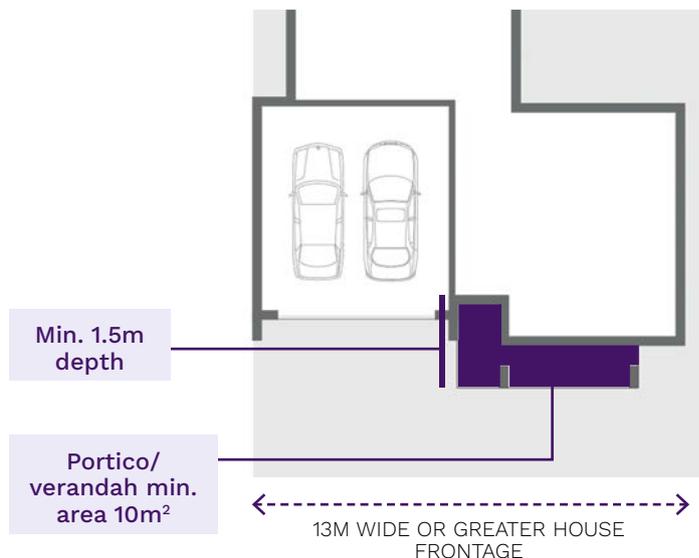
Where your home frontage is 13.0m wide or greater at least one of the following is required:

- A step in the front facade of a minimum 840mm (this step must be in addition to any step at the garage), or
- A portico/verandah with a minimum area of 10m². The porch must also have a depth of minimum 1.5m deep at some point, or
- A verandah for the full length of the frontage (excluding the garage).

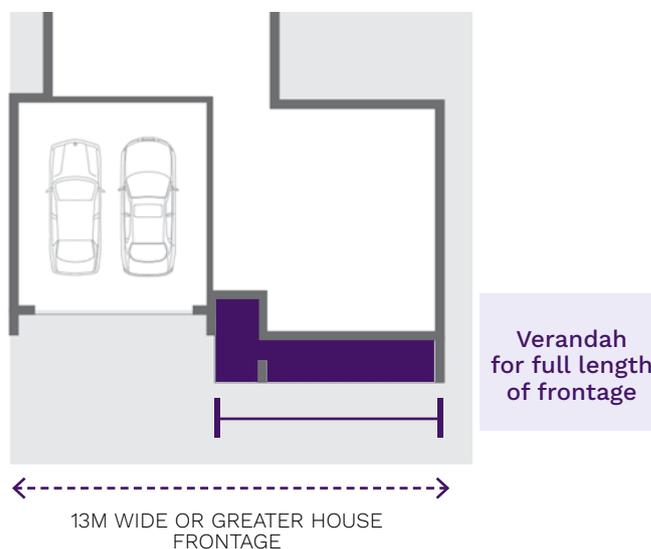
Note: An entry recess is not a step in the facade.



Option: 840mm additional step in front facade



Option: Portico/Verandah min. area 10sqm and min. depth 1.5m



Option: Verandah for full length of frontage



4. Front garden landscape

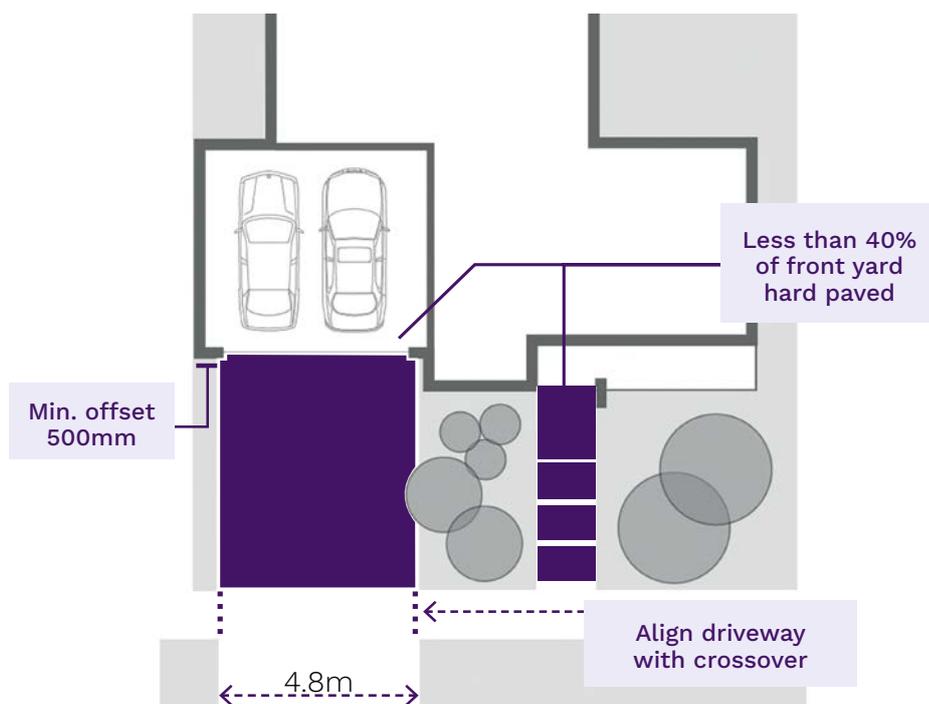
4.1 Extent of landscaping

All parts of the lot not built on or paved that are visible from a front or side street or rear laneway must be well maintained. Garden beds are to contain organic or pebble mulch.

Your garden must be completed within 1 year of Stockland receiving your certificate of occupancy. Stockland encourages you to landscape and maintain the nature strip in front of your home.

4.2 Extent of hard paving

No more than 60% of your front garden area is to be hard paved. This includes your driveway.



4. Front garden landscape



4.3 Driveways

The driveway is to be shown on the house plans submitted to Stockland for approval.

The driveway must be offset a minimum of 500mm from the nearest side boundary.

Driveways must align with the crossover provided by Stockland and be constructed within 1 year of Stockland receiving your Certificate of Occupancy.

Acceptable driveway materials are:

- Stamped or coloured concrete;
- Brick, slate or natural stone pavers;
- Exposed aggregate concrete.

Plain concrete driveways (in light-grey 'standard' concrete) are prohibited.

4.4 Retaining walls

The vertical face of any retaining wall cannot be more than 1.2m in height, otherwise it must be stepped back.

Retaining walls which abut a street must be constructed of stone or rendered masonry, in line with the village character and to the satisfaction of Stockland's Covenant Team.





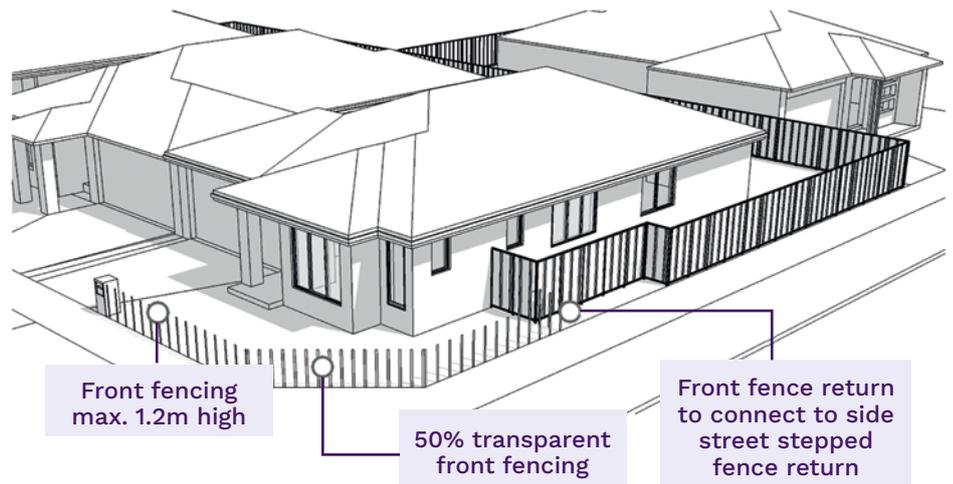
5. Fencing and boundaries

5.1 General requirements

Stockland does not provide fencing. Fencing design drawings must be submitted for approval by Stockland's Covenant Team.

Fencing other than optional front fencing is to be constructed prior to you moving in to your home.

Pre-existing fencing is not to be removed for any reason without prior written consent from Stockland's Covenant Administrator.



5.2 Optional front fences

Front fences are permitted where they:

- Complement the style and colour scheme of the home;
- Are no higher than 1.2m;
- Are 50% transparent;
- Return along the side boundaries to connect back to the side fences or walls of your home. For corner lots, where there is a side street stepped fence, the front fence must return to connect to the stepped fence return;
- Have been approved by Stockland.

If an adjoining neighbour has already built a Stockland-approved front fence, your fence will not have to return along the adjoining side boundary.



✔ Front fencing complements style and colour scheme of home



✔ Front fence 50% transparent



✘ Front fence not transparent and does not complement the style and colour scheme of the home

5. Fencing and boundaries



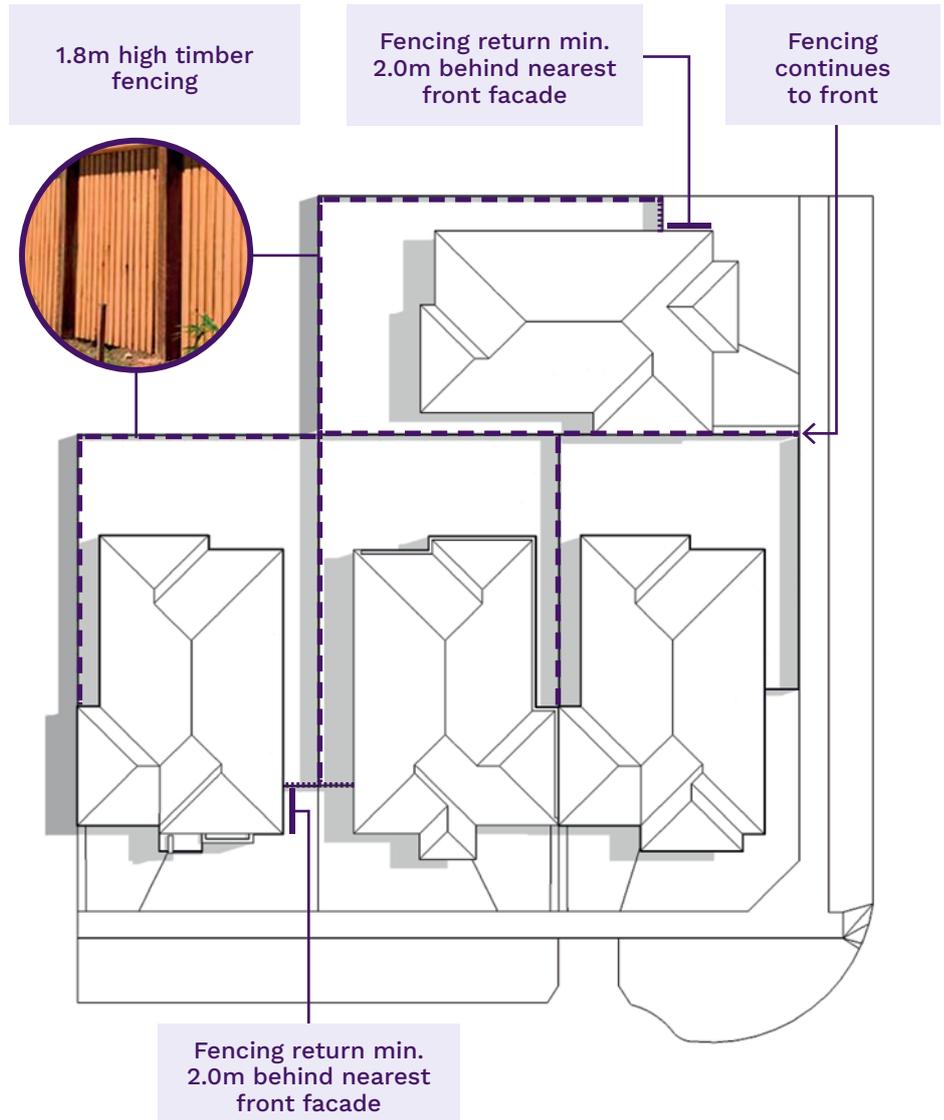
If you choose to fence the front of your lot, you must submit fencing layout and design drawings for approval by Stockland before commencing construction.

Chain mesh or chain link fencing systems will not be approved.

5.3 Mandatory side and rear fencing

The following fencing standard is required:

- Be constructed of 1.8m high timber fencing. Colorbond fencing is not permitted.
- Be returned at 90 degrees to the home, to connect with the side of the home or garage wall at least 2m behind the nearest front facade.
- Continue to the front of the lot if a side boundary forms the rear boundary of an adjoining lot unless otherwise specified.



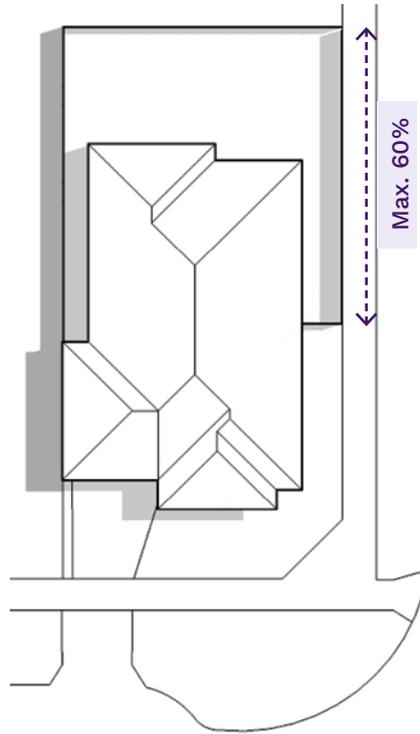
5. Fencing and boundaries



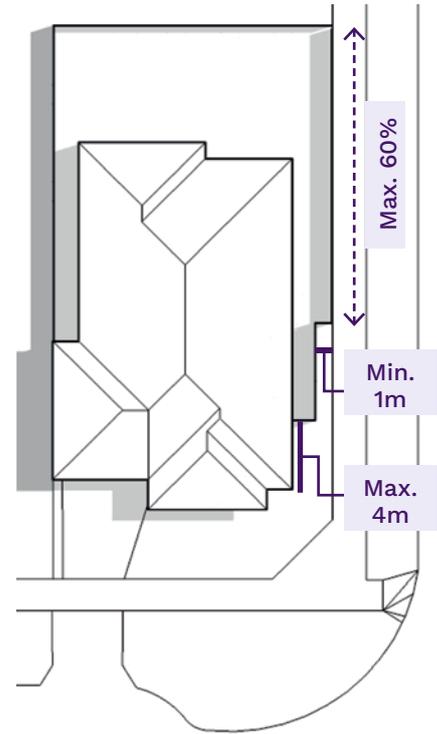
5.4 Mandatory side street fencing to corner and rear access lots

The following fencing standard is required

- Be constructed of 1.8m high timber fencing. Colorbond fencing is not permitted.
- 100 x 100mm expressed posts, capping and 150mm plinth timber detail permitted
- Not exceed 60% of the length of the side boundary taken from the rear boundary
- Option to have stepped fence with landscaping up to a maximum of 4m from the nearest front corner building line
- On sloping sites fences should be stepped
- All fencing shall be set true and plumb
- Fences on corner lots must not extend beyond the point indicated on the relevant council approved building envelope plan contained in your MCP.



Side street fencing max. 60% of length of side boundary



Option side street stepped fencing with landscaping



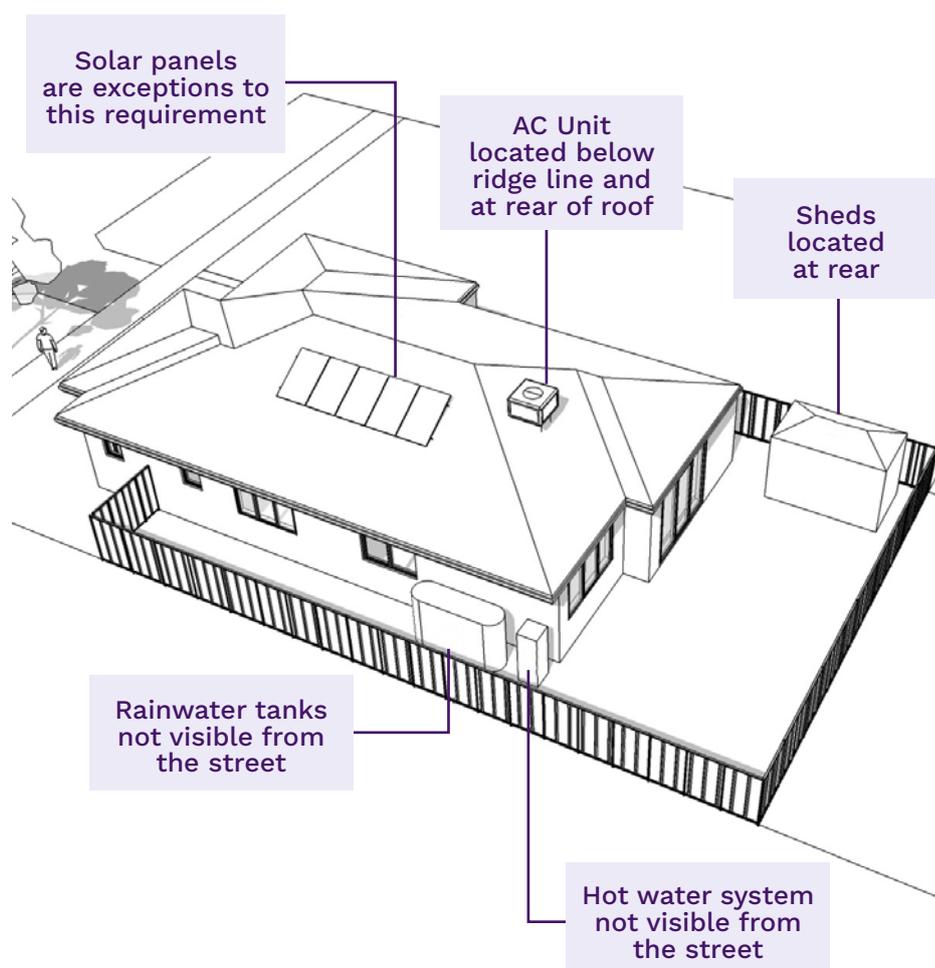
6. External elements

6.1 General requirements

Any additions, fixtures, equipment, sheds, outbuildings or pergolas must be located to the rear of your home out of sight from your street or any public reserve.

This includes (but is not limited to) satellite dishes, external hot water services, solar hot water systems with roof mounted tanks, water tanks, spa pumps, heating and cooling units, rubbish disposal containers, rain water tanks, and washing lines, solar pool heating coils.

Solar panels for heating water or generating energy are exceptions to this requirement.

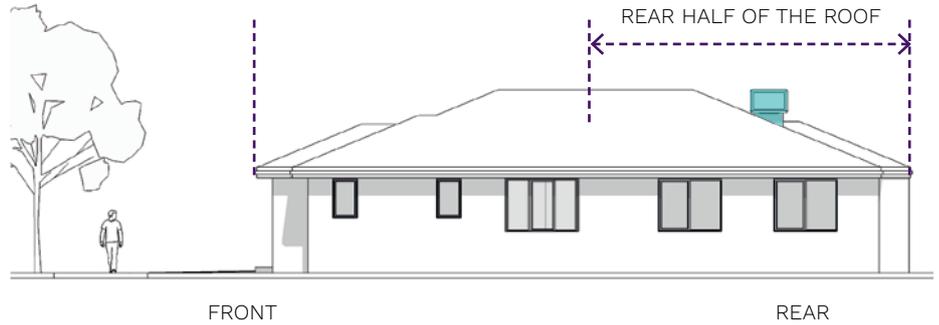


6. External elements



6.2 Evaporative cooler units

Evaporative cooler units must be the low profile “contour” type and the same colour as your roof. The units must be located at the rear half of the roof, and located so that they are generally not visible from the street or any public reserves.



Evaporative cooler units must be located at the rear half of the roof

6.3 Exposed plumbing

Exposed plumbing must not be visible from the front or side street or neighbouring public reserves.

This excludes gutters and downpipes.

6.4 Sheds, outbuildings, pergolas

Any shed, outbuilding or pergola greater than 10m² in area that is more than 3m in height above natural ground level must complement the finish of your home and be approved by Stockland.



⊗ Non-compliant evaporative cooler unit located at side of roof and above roof ridgeline



⊗ Non-compliant evaporative cooler unit located at front of roof and above roof ridgeline



7. Environmental sustainability

Homes should be developed with a focus on reducing energy, waste and water needs and usage for homeowners. Design Guidelines should include the following energy efficiency, building orientation and solar access requirements.

7.1 Energy efficiency and lighting

All dwellings are encouraged to be designed and built to achieve reductions in greenhouse gas emissions in line with the relevant government regulations.

It is encouraged that all internal light fittings such as downlights, pendants, wall mounts etc allow for compact fluorescents or LED.

External light fittings must not result in excessive light spill.

7.2 Passive design

Locate indoor and outdoor living spaces to the north of the dwelling to facilitate solar access in winter months.

Where possible, provide adequate shading such as retractable shading devices, trees, tinted glass etc to prevent significant summer solar heat gain.

Where possible, locate private open space on the north side of the allotment and avoid being located along a primary frontage.

If possible, zone dwelling layout to enable main living areas to be separately heated and cooled.

7.3 Water efficiency

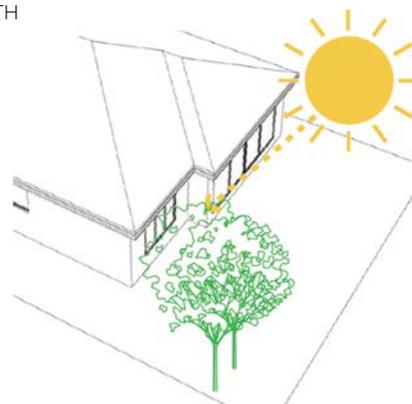
All dwellings are to be connected to Barwon Water's reticulated recycled water system (purple pipe) for toilet flushing and garden watering as per Section 2.6 of Schedule 2 of the Urban Growth Zone applying to this land.

Connection to a rainwater tank is encouraged for other purposes such as car washing and washing machine supply.

LED



NORTH



WATER



Reducing energy, waste and water needs and usage, increasing comfort and reducing running costs for homeowners.



8. Cool roofs at Banksia

A roof designed to provide and maintain high solar reflectance.

8.1 What is a cool roof?

A cool roof is one that has been designed to reflect more sunlight and absorb less heat than a standard roof. Nearly any type of building can benefit from a cool roof.

When implemented at scale, cool roofs can counter the urban heat island effect, caused by the heat absorbing materials in the built environment.

By reflecting incoming solar radiation, cool roofs can reduce temperatures inside buildings and mitigate cooling demand for an entire city.

8.2 Benefits of cool roofs

A cool roof can benefit a building and its occupants by:

- Reducing energy bills by decreasing air conditioning needs.
- Improving indoor comfort for spaces that are not air conditioned, such as garages or covered patios.
- Decreasing roof temperature, which may extend roof service life.
- Increasing its ecological sustainability factor, or making your building 'greener'.
- Mitigating your community's Urban Heat Island Effect.

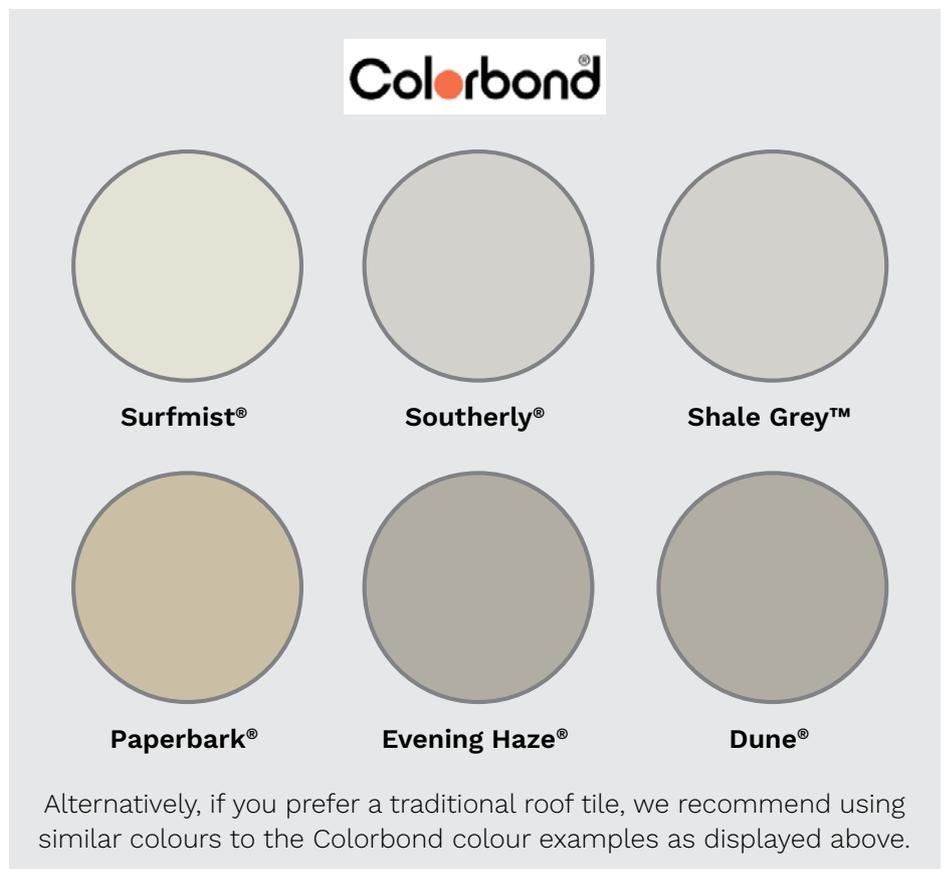
8.3 Types of cool roofs

Stockland recommends the use of roofing with a solar absorptance rating of less than 0.5 to maximise the benefits.

A list of recommended options is provided at right (or can be colour matched).



Courtesy of Homebuyers Centre.



A photograph of a young couple embracing. The woman is in the foreground, smiling broadly with her eyes closed, wearing a maroon top. The man is behind her, wearing a grey and blue plaid shirt. She is holding a set of keys with a red strap and a white house-shaped keychain. The background is a bright, out-of-focus window.

Design
approval
checklist



Site plan

1:200 or 1:100 scale

- Existing and proposed contours
- Proposed floor levels
- All setback dimensions to boundaries
- Fencing (incl. dimensions of fence return setbacks, stepped fencing, side street boundary fencing, etc)

Floor plan

1:100 scale

- Internal layout
- Dwelling areas
- Dimensions (including setbacks, articulation, porch, etc)
- Ancillary fixtures and equipment (eg. rainwater tanks, hot water systems, etc)
- Sheds, outbuildings, pergolas, etc

All elevations

1:100 scale

- External materials and colours
- Proposed floor levels and building heights from natural ground level
- Eave dimensions
- Roof pitch
- Sheds, outbuildings, pergolas, etc

Sections

1:100 or 1:50 scale

- Built form and natural ground level
- Site cut/fill
- Ceiling heights
- Retaining walls

External materials & colours schedule

- Wall cladding material and colour
- Roof material and colour
- Gutters, fascias, downpipes colour
- Window and door frames colour
- Decks, verandahs, etc
- Fencing material and colour
- Driveway material and colour

Landscape plan

1:100 scale

- Plant list, including species and sizes
- Front fencing details, material and colour
- Driveway material and colour
- Paving or hardscape material and colour
- Retaining walls

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