

Foreshore Design Essentials

May 2017



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Foreshore
COOMERA

stockland.com.au/foreshore



The Design Essentials

Introduction

The Vision for Foreshore

There's a place where the convenience of the city meets the water, an idyllic escape located with convenient access to the Gold Coast and far enough away to truly escape.

At Foreshore, you can enjoy a unique family-friendly waterside lifestyle with the things you need and want close to home.

Taking pride of place at the Gold Coast, the Foreshore community will provide a wide range of waterside homes suitable for different lifestyle needs.

Approval Process

Stockland has prepared these Design Essentials to guide house design at Foreshore, and should be read in conjunction with the Foreshore Coomera Development Code, which applies for this development site.

To ensure a smooth design approval process, please pass this document to your builder/architect so that a Home Design Package can be prepared for endorsement by Stockland. This package must include a Site Plan (1:200), Floor Plan, Elevation Plans, Section Plan (1:100), External Colours, Landscaping, Fencing, and Retaining Wall Plans.

The key steps in the design approval process are outlined in the following chart:



Further Information

Visit the Stockland website at stockland.com.au/residential/qld to view the Building Journey, handy tips and how-to videos.

Handy fact sheets about building a new home are available at www.yourhome.gov.au, which is a joint initiative of the Australian Government and the design and construction industries.

Important information about planning and development can be found on Council's website at www.goldcoast.qld.gov.au or visit in person at one of their Customer Service Centres.



Presenting your home to the street

Setbacks and Siting

The minimum boundary setbacks and maximum site coverage must be as per the Foreshore Coomera Development Code provided by Stockland in your Land Contract of Sale.

Front Façade

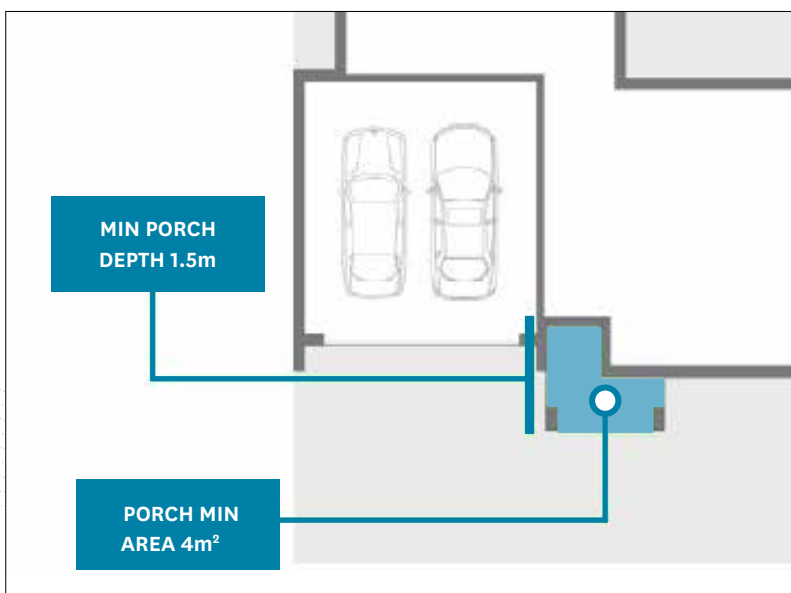
- Walls may be up to 7.5m long before a change in setback and eave line of at least 450mm is required.
- The design of the home must incorporate either a porch, portico or verandah that is:
 - At least 4m² with a minimum depth of 1.5m; and
 - Adequately covered, clearly defined and visible from the street.



Visibility

The façade area (excluding the garage door) facing a street or public area is to include sufficient glazing (minimum 10%) to allow for passive surveillance of the property.

A minimum of one (1) habitable room having an area of 1m² on each level is required to overlook each adjoining public space (i.e. street, public open space or laneway).

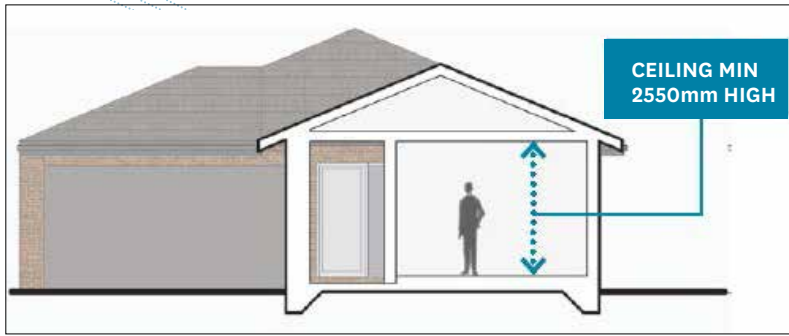


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Ceiling Height

Single storey homes must have a minimum ceiling height of 2550mm.



Roof

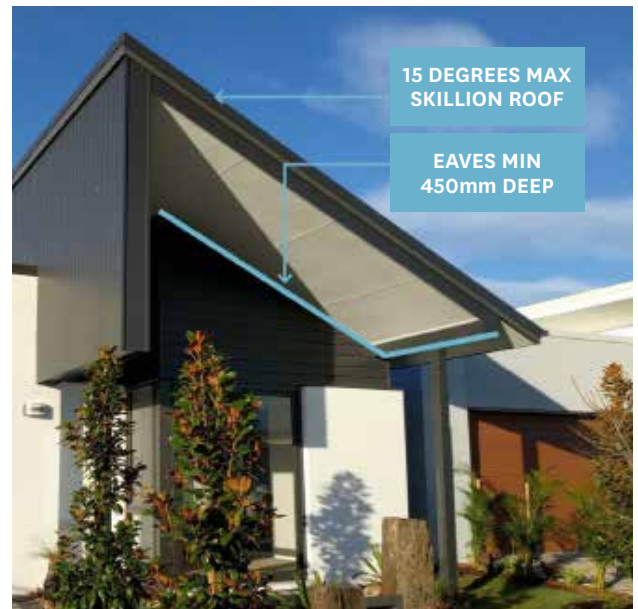
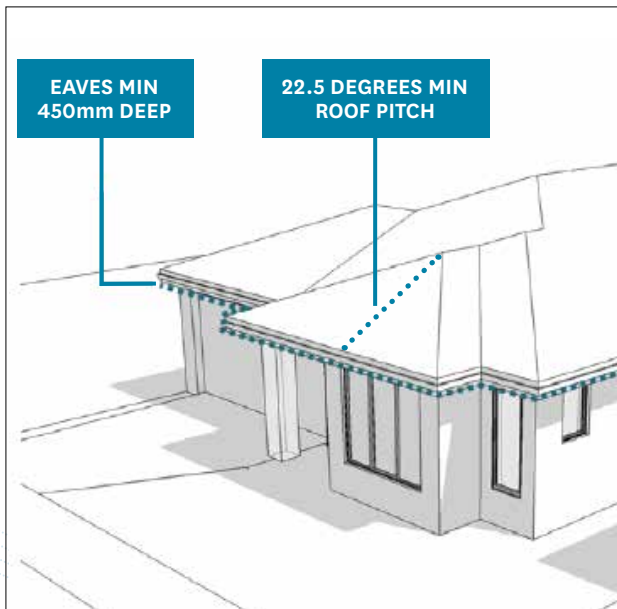
Pitch

Roofing must be of a scale and form representative of contemporary Queensland Architecture.

- Hip and gable roofs must have a minimum pitch of 22.5 degrees.
- Skillion roof planes should not exceed a maximum pitch of 15 degrees, unless it can be demonstrated where a higher roof pitch forms an integral part of the overall architectural design of the home.
- Flat or contemporary roof designs will be considered individually on their merits where they complement the overall character of the home.

Eaves

- Hip and gable roofs must have eaves overhanging by a minimum 450mm (excluding fascia and gutter) and applied to 70% of all façades visible from the street or public areas (excluding built to boundary wall).
- Eaves are encouraged to assist with shading of windows, minimising heat gain during the day, and helping to moderate the internal temperature of the home.
- Where the design is contemporary and does not allow for eaves, the use of awnings and/or sun shade materials is strongly encouraged where there is a window to improve energy efficiency.



Materials

Roof materials are limited to:

- Corrugated pre-finished coloured metal sheets (e.g. Colorbond); or
- Flat profile roof tiles.



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Corner lot

Wrapping the Corner

Houses on corner lots must have some form of articulation that addresses both streets, and is visible to the public. The articulation should be incorporated on the primary façade, wrap around the corner, and then be replicated on the secondary façade. For example:

- A portico, pergola or verandah of substantial bulk that utilises and wraps around both façades, or
- Recessing or projecting architectural elements that are substantial enough to articulate the corner, or
- Windows that address both streets, or
- A minimum of one (1) habitable room window having an area of 1m² on each level that overlooks each adjoining public space (i.e. secondary street, public open space or laneway).

Secondary Street Treatment

On the wall facing the secondary street (including facades visible from road reserves, easements, public walkways or parks) no straight section of the wall is to be longer than 12m. A step of at least 450mm is to be incorporated to break up this section and provide interest to the wall facing the secondary street.

Building materials

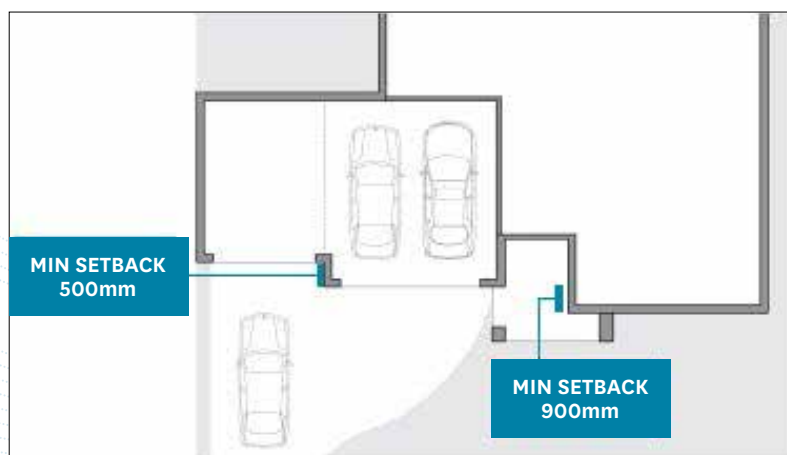
Mix of Materials

Homes are to be constructed to reflect contemporary Queensland architecture and have regard to the climatic conditions of the area and the estate's unique location.

- A minimum of 2 materials and 2 colours are to be applied to the front and secondary street façades. No one material or colour can be more than 80% of a façade area.
- Face brickwork is not permitted to any elevation of the home. Minor feature elements may be provided in feature brickwork where they complement the overall design of the home.
- Unfinished 'commons' bricks are not permitted.

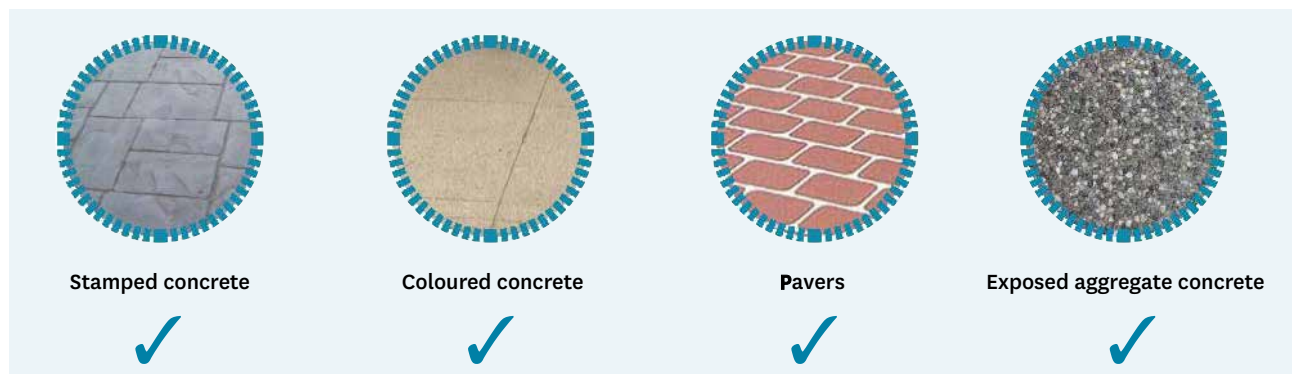
Garage

- A freestanding or attached garage must include a roof design and features that are consistent with the form and materials of the home.
- Carport design, materials and colours (including roof) must be consistent with the design, materials and colours of the home.
- Garage is to be recessed a minimum of 900mm from the front building line of the home.
- Where a triple garage is to be constructed, the third garage must be setback a minimum of 500mm from the other garage doors.



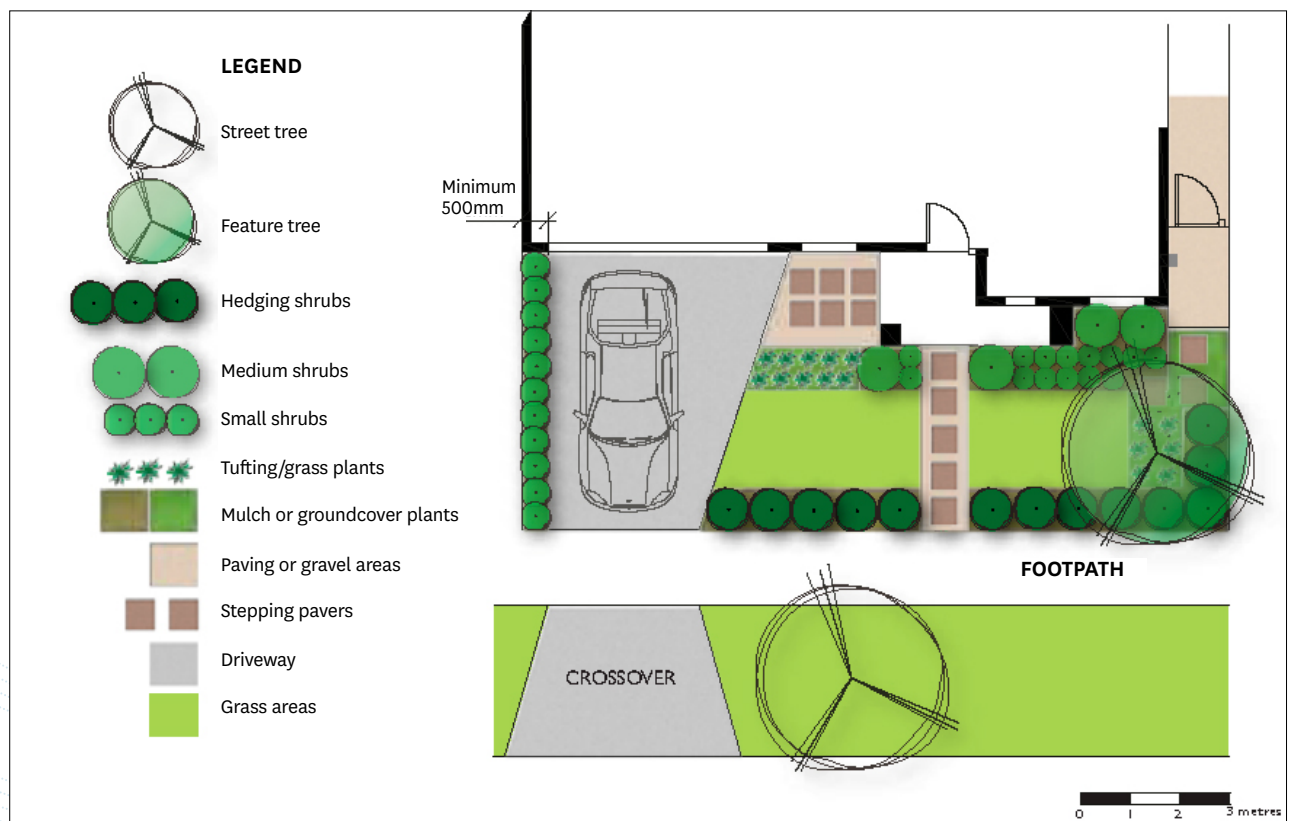
Driveway and crossover

- Driveway is to be offset at least 500mm from the nearest side boundary to allow for turf. A planted garden bed with small trees, shrubs, groundcover, mulch and edging is encouraged here but optional.
- Driveway must not be constructed from plain concrete.
- Crossover is limited to a maximum width of 40% of the road frontage or 4.8m, whichever is the lesser.
- Driveway and crossover are to be completed prior to occupation.
- Parking areas and hardstand materials are to be designed so that they integrate with the landscape concept for the front yard.



Landscaping

Landscaping is a fundamental element in creating quality streetscapes and provides the final character to the home. An example of landscaping to the front yard is shown below to assist in developing a cohesive link between the home and the street.



Landscaping

Landscaping to the Front

Each lot is to provide:

- Planted garden beds that occupy a minimum of 30% of the frontage of the lot, and includes:
 - One (1) feature tree (in addition to the street tree) with a minimum pot size of 75L.
 - A minimum of five (5) plants at a minimum height of 1m.
 - Mulch and edging.
- Turf between the front building line and kerb-line, except where an alternative landscape treatment is provided.
- Turf to the front yard is to be planted natural grass. Artificial or synthetic turf is not permitted.

All landscaping to the front of the property is to be completed within three (3) months of handover from the builder.

Any nature strip, road verge or grassed footpath facing the front (or side/secondary street) of a private residential property is to be mowed and kept maintained at all times by the owner/resident, on the basis that owners/residents with civic pride undertake this activity as a contribution to the amenity of the waterside community.

Landscaping Bond Refund

Where all landscaping to the front of the property is completed within three (3) months of handover from the builder, and is inspected and approved by Stockland, the owners shall apply for a \$2,000 Landscaping Bond Refund from Stockland.

Fencing

Front Fencing

In order to ensure a predominance of landscaping in front of homes, soft enclosures and demarcations of the front property boundary (e.g. hedges, landscape planting etc) are encouraged.

Fencing constructed forward of the front building line must be:

- Rendered and/or masonry piers (located at regular intervals) and plinth (a minimum of 300mm high) with matching masonry or other appropriate infill panels.
- Maximum height of 1.8m.

Gates may be incorporated across the driveway where a front fence is constructed.



Fencing

Side and Rear Fencing

Fencing constructed along the side and/or rear boundaries must be:

- Maximum height of 1.8m.
- Not constructed from pre-finished coloured metal sheets (e.g. Colorbond) or unfinished materials (e.g. unfinished common bricks).
- Where no front fence is constructed, the side fence must return to the house a minimum of 1m behind the front building line.
- Where the side boundary forms the rear boundary of an adjoining lot, the side fence may continue to the front of the lot.

Fences or walls that adjoin public open space areas (other than conservation purpose areas) are to be at least 50% transparent and less than or equal to 1.5m in height. Please discuss proposed fencing with your adjoining neighbours prior to construction and refer to the relevant Neighbourhood Disputes (Dividing Fences and Trees) Act 2011 legislation and guidelines in your state and local government area.

Side Fencing on Corner Lot (facing Secondary Street Frontage)

Where fencing has not been provided by Stockland to the secondary street frontage, fencing is to be (as viewed from the street or public space):

- Maximum height of 1.8m.
- Articulated at even intervals and planted with shrubs.
- Return a minimum of 1m behind the front building line, where no front fence is constructed.
- Not constructed from pre-finished coloured metal sheets (e.g. Colorbond) or unfinished materials (e.g. unfinished common bricks).
- If constructed from timber:
 - Lapped timber palings with a matching top rail.
 - A minimum of 150mm x 150mm hardwood posts expressed to the street.
 - A stained or painted finish.
 - Recessed sections of a minimum dimension of 4m x 0.75m provided every 12m.

Fencing to Conservation Land

Any boundary abutting conservation land must be designed to a “fauna exclusion” standard as follows:

- Fence is to be non-climbable from the outside (conservation side).
- Bracing and supports are on the inside (residential) side of the fence.
- No gaps under the fence.
- Minimum height of 1.5m.
- Tree canopies trimmed near fences.



Retaining walls

Materials and Height

Retaining walls visible from the street or public space must be:

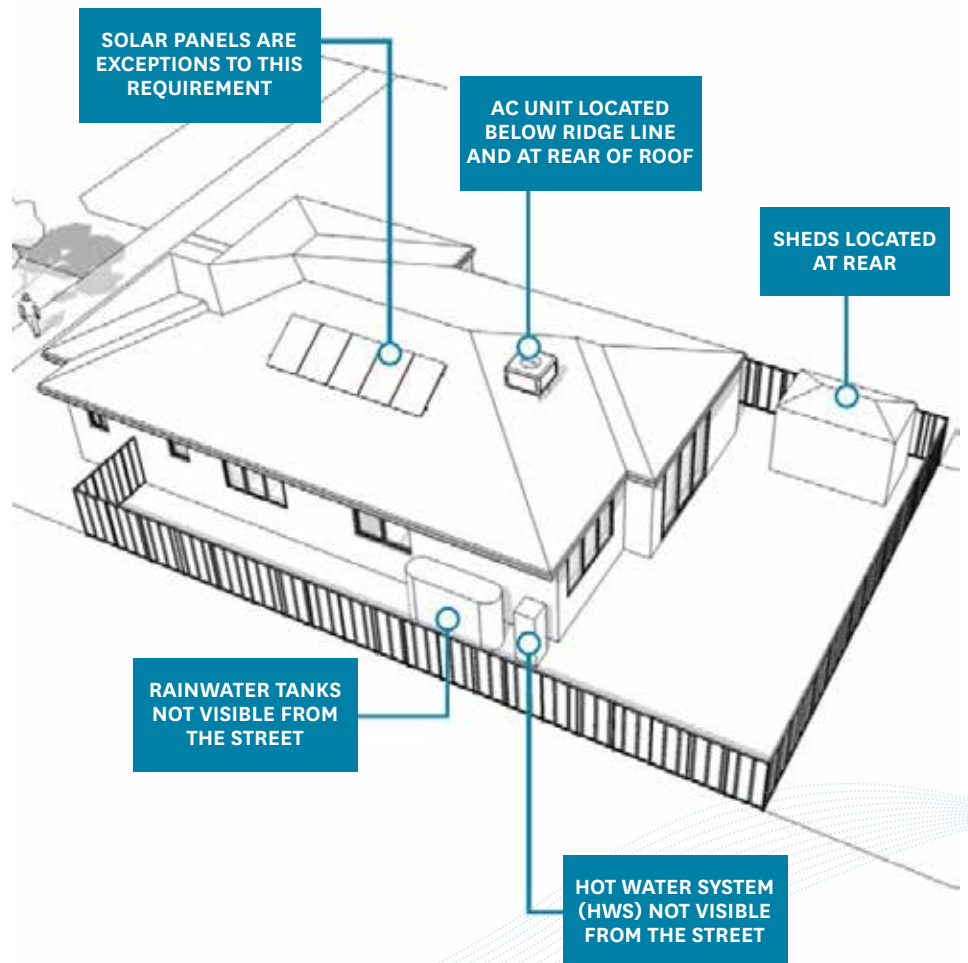
- Maximum height of 1.8m before use of a 500mm wide landscape terrace.
- Constructed from stone or masonry.

Please discuss proposed retaining walls with your adjoining neighbours prior to construction to ensure that the height of each retaining wall is appropriate to suit the finished ground levels on each adjacent block.

Exterior

Screening

- All ground mounted equipment is to be adequately screened from the street or public spaces. This includes (but is not limited to): heating and cooling units, rubbish disposal containers, swimming pools and equipment, rainwater tanks, and clotheslines.
- Non-ground mounted equipment visible from the street or public spaces must be minimal. This includes (but is not limited to): satellite dishes, TV aerials, external hot water services, rainwater tanks, air con units, heating units, spa and pool pumps, dependent person units etc.
- Solar panels and collectors for hot water units are the exception to this standard when orientated to maximise their effectiveness.



Exterior

Outbuildings

Any outbuildings or garden sheds should be carefully designed and:

- Constructed in an approved finish to complement the house.
- Constructed behind the front (and secondary) building line, unless it can be shown that it is adequately screened and not visible from the street or public spaces.

Construction obligations

- Provide a bin or enclosure on site for the duration of the construction period.
- Site cleanliness is to be maintained.
- Where the developer has constructed a fence, entry statement or retaining wall, it is to be maintained by the owners to the standard to which it was constructed.

Design variations

Where a design is proposed to vary from the Design Essentials, it will be assessed on merit by the Stockland Foreshore Design & Project Team.

A variation will only be considered and approved where it can be demonstrated that the design still achieves the desired objectives for the creation of an aspirational waterside community at Foreshore.



All details, images, and statements are based on the intention of, and information available to, Stockland as at the date of publication May 2017 and may change due to future circumstances. All images and photographs are conceptual and indicative only. An approval issued by Stockland under these Design Essentials is not an approval or certification from the local Council, from an accredited certification authority or under the requirements of any legislation. Any building plans submitted to Stockland are not checked by Stockland for compliance with structural, health or planning requirements, or for the suitability of the building for your intended use. Stockland reserves the right to approve designs and works which do not comply with these Design Essentials where considered to be of merit, and to vary, relax or waive any of the requirements in this document, at its absolute discretion. If Stockland exercises any of these rights, this will not set a precedent or imply that the same or similar approval will be repeated by Stockland in the future.

Sales & Information Centre

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Oakey Creek Road
Coomera QLD 4209

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F: 07 5502 8388

Stockland Development Pty Ltd

Level 4, 99 Melbourne Street
South Brisbane QLD 4101

P: 07 3305 8615

F: 07 3181 8620

Landscaping Bond Refund Application Form

To claim your landscaping bond for **Foreshore** here's what you need to do

You may be eligible to claim a refund on your bond payment, once you have completed all of the landscaping to the front of your home. To receive your bond payment, you must comply as outlined below.

Claiming \$2,000 on your landscaping

- Complete all landscaping works within 3 months from date of handover from your builder and in accordance with the requirements stated in the Design Essentials, Covenant Approved Plans, and Land Contract of Sale.
- Complete and sign the attached **Landscaping Bond Refund Application Form**.
- Email it to **design@stockland.com.au** and attach a **photo** of your completed landscaping.
- Stockland will assess and/or inspect your landscaping and determine if all requirements have been met.

If approved, your bond will be processed and paid within 30 days after the assessment and/or inspection has been completed.

Checklist

- ☐ Planted garden beds mulched and edged to minimum 30% of the front yard
- ☐ 1x feature tree with minimum pot size of 75L
- ☐ 5x plants at minimum height of 1m
- ☐ Turf to the remainder of the front yard
- ☐ Driveway completed



Property to be assessed by Stockland:

Community:

Stage Number:

Lot Number:

Street Address:

\$2,000 Landscaping Bond

I/We acknowledge that a Stockland representative will assess and/or inspect the property mentioned above. If all of the landscaping and driveway requirements have been met as per the Design Essentials, Covenant Approved Plans, and Land Contract of Sale, then the bond will be paid within 30 business days after the assessment and/or inspection has been completed.

Applicant's details:

Name(s):

Postal Address:

Mobile:

Email:

Signature 1:

 ← please sign here

Signature 2:

 ← please sign here

Date:

Applicant's bank details:

Account Name:

Account Number:

BSB Number:

Bank Name:

Email this form to design@stockland.com.au and attach a photo of your completed landscaping.



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